

EXHIBIT B



DESIGN GUIDELINES

Final Draft: August 27, 2001

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1. GENERAL OVERVIEW

1.1 INTRODUCTION

The redevelopment of Fall Creek Place involves the building of approximately three hundred forty (340) new homes that will comprise of single family detached homes and attached townhomes. In addition, approximately forty-six (46) existing homes are slated for rehabilitation. The overall map and master plan for Fall Creek Place is provided in Exhibit B for reference. Coupled with the revitalization of commercial nodes, the existing features and design remnants of a turn of the century urban neighborhood has been planned with "new urbanism" design principles to provide a guiding blueprint for the revitalization of Fall Creek Place.

These Guidelines do not seek to impose an overriding style or an artificial theme, however, they will assist the City of Indianapolis in successfully re-establishing positive design character inherent in this neighborhood during the early 1900's.

1.2 INTENT OF GUIDELINES

The Intent of these Guidelines is to establish minimum standards of design consistent with the level of development, character, and quality desired for Fall Creek Place. The requirements are intended to assist developers, contractors and homeowners in the planning, design and construction of site improvements, homes and to establish and maintain a neighborhood community image that is consistent with the Master Plan in place for Fall Creek Place.

The Design Guidelines are not a "building code," but rather recommendations for quality design. They are the criteria by which house plans will be reviewed and approved or disapproved and, therefore, will be carefully followed. It should be noted, however, that there are certain requirements, which may not be deviated from.

These Guidelines apply to all properties within Fall Creek Place including, and are in addition to the requirements of government jurisdictions. They will serve as the basis for review of residential construction by the Design Review Committee (DRC) as defined by the Fall Creek Place Homeowners Association documents. All standards set forth herein are subject to the criteria established in current Federal, State, or local regulations, whichever is most restrictive. These guidelines shall not impose any requirements in violation of applicable Federal, State, or local regulations.

In addition, the DRC shall review plans of all proposed modifications, additions or alterations made to existing units, structures, or open space areas.

These Guidelines are intended to serve for the life of the project and accordingly may be amended by the Fall Creek Place Homeowners Association. Such amendments will be adopted as addenda to this document. The DRC reserves the right to waive or vary any of the procedures or standards set forth herein at its sole discretion for good cause shown. As an example, but not limited to, it may consider individually the merits of any project due to special site conditions. Any project reviewed for special consideration must be shown to benefit the specific site, adjacent areas, or the neighborhood community as a whole and any such waiver must be in writing prior to commencement of improvements.

By encouraging quality and attention to detail throughout the neighborhood community, the aesthetic harmony, natural tranquillity and overall historical significance of the neighborhood community standards at Fall Creek Place will be enhanced and preserved through the DRC and Design Guidelines.

It should be noted that a separate Builder's Guide for New Construction was prepared offering a more illustrative detailed guide for new residential construction. This guide is presented within the Design Guidelines as Exhibit A and will be referenced throughout the Design Guideline documents.

1.3 OVERALL DESIGN CONCEPT

Fall Creek Place will have a neighborhood community image and identity in harmony with the physical characteristics of the area, and a visual frame of reference. This visual framework consists of the streetscape; design treatment of public and private spaces (residences, open spaces, parks, etc.); and the expression of architecture and the built environment.

All of these elements are viewed from one common denominator: generally, to create harmony between an existing urban fabric and new elements to ensure that all new structures and uses are compatible with the prevailing historic character in the surrounding area.

In responding to the Fall Creek Place development, compatible designs should not seek to imitate the historic architecture found in Fall Creek Place, but should instead reflect their surroundings in terms of mass, scale, color, materials, and building arrangement. It is imperative to recognize the character of the site and the surrounding area. The diversity of land uses identified in the site analysis indicated that Fall Creek Place was once a thriving urban neighborhood, complete with civic and commercial uses providing support to its residents.

The Design Guidelines play a vital role in revitalizing Fall Creek Place development by identifying conditions where design opportunities and potentials exist. The elements of sequence, hierarchy, and their application through design treatment are influencing factors that contribute to the clarity of destination, arrival, and decision making for the traveler of the streets. Significant public input was obtained during the master planning process. A total of ten overall guiding principles should drive future physical improvements to the Fall Creek Place neighborhood. These are listed below:

1. **Residential Land Use.** Renovate selected existing homes and provide new housing options in varied price ranges while maintaining an architectural identity.
2. **Commercial Land Use.** Establish active commercial districts of appropriate scale and architecture in logical locations to bring neighborhood services and businesses to residents of Fall Creek Place.
3. **Civic Land Use.** Encourage existing civic uses including churches, schools, and community organizations to remain while new civic uses are established within the neighborhood engaging residents in local events.
4. **Surface Parking Lots.** Reevaluate existing surface parking lot areas for needed improvement, and identify new surface parking areas to serve commercial businesses and civic uses.
5. **Open Space and Parks.** Enhance existing open spaces and develop new parks centrally located recognizing the need for passive, active, and social recreation areas further enhancing the quality of neighborhood life.
6. **Gateways.** Identify existing and potential gateway opportunities at significant entrance locations throughout the study area to establish a sense of community and arrival within Fall Creek Place.
7. **Vehicular Traffic.** Maintain existing vehicular traffic flow directions and lanes and suggest improvements for driver clarification. Improve pedestrian safety and enhance the streetscape along corridors.
8. **Street Design Hierarchy.** Maintain existing street hierarchy while considering right-of-way and pavement width, number of traffic and parking lanes, traffic speed, signalized intersections, and alignment.

9. **Pedestrian Traffic.** Maintain existing pedestrian sidewalk widths, locations, and relationships to streets. The existing network functions well within the context of the historic grid layout.
10. **On-Street Parking.** Existing on-street parking functions well along the urban streetscape and should remain in place along streets for the convenience of residents and visitors.

2 APPLICATION PROCEDURES

2.1 INTRODUCTION

The application procedure of the DRC is intended to provide qualitative reviews in a timely manner. Submittal requirements for specific development phases will be prescribed by the DRC and promulgated as addenda to these guidelines.

The application process consists generally of

1. An architectural review phase,
2. A landscape review phase,
3. A construction period site review phase.

In the interest of expediting construction activity, the DRC may combine or alter the above phases of the review process at its discretion. The DRC possesses the authority to pre-approve sets of home or building plans where appropriate for a project involving a limited number of building styles, elevations, materials, etc. An appeals process has also been established by the DRC. (See 2.7)

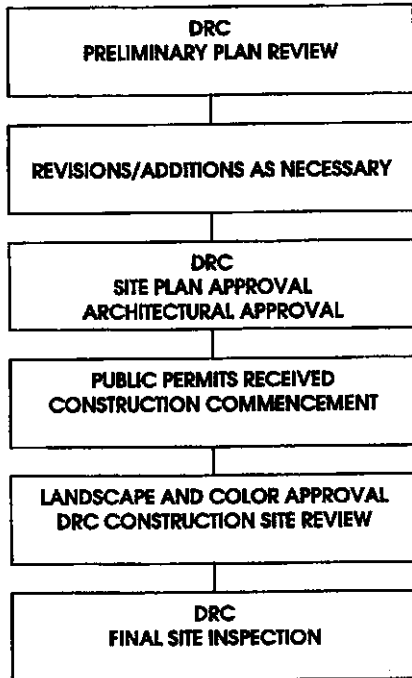
2.2 REVIEW PROCEDURES

In general, any physical improvement within Fall Creek Place that is visible from the street front of the residence will require approval of the DRC. Approval of plans by the DRC does not release the Applicant from compliance with local, state and federal permit processes. The DRC may approve the submittal outright, may provide conditional approval with a list of items to be addressed during later stages of design or construction and may request resubmittal with a list of specific items to be addressed.

2.3 SCHEDULE

Prior to preparation of a design submittal package, it is suggested that the Applicant, and/or his consultants, meet with a representative of the DRC to review and clarify these Design Guidelines, the characteristics of the particular building site, and technical issues related to review procedures. Five (5) complete sets of plans shall be submitted for review. One set shall be retained for the DRC's files and the remaining four sets shall be returned to the applicant. These four sets will be required by the applicable building permit agency. The Applicant should submit required design review information to the DRC at least

three (3) business days prior to the next scheduled DRC meeting. A schedule of these meeting dates will be made available.



The DRC will strive to take action on design review submittals within fourteen (14) business days upon submittal by each respective builder, but may take up to thirty (30) calendar days in accordance with the recorded documents of Fall Creek Place. If, in the opinion of the DRC, the submittal complies with the Design Guidelines, written approval shall be granted. If the submittal is found not to be in compliance with the Design Guidelines, the DRC shall provide the Applicant with a written description of the aspects in which the Submittal does not comply. The Applicant must then present required revisions to the DRC and follow the same review procedures. However, the DRC may issue a conditional approval in writing noting that certain aspects of the plans submitted will still require DRC review and approval.

2.4 DESIGN REVIEW FEES

The DRC reserves the right to establish and collect fees for the review of plans. Such fees, if any, will be posted through an addendum to these Design Guidelines.

2.5 SUBMITTAL REQUIREMENTS

Submission shall include the following information; however, the DRC will determine on a lot by lot basis if the actual submittal requirements should vary. Submissions should be made on 11" x 17" white paper. All drawings should be scalable, with scale clearly identified. **It should be noted that applicants will not be able to pull a building permit from the City of Indianapolis without a set of stamped plans from the Design Review Committee for any residential construction in Fall Creek Place.**

1. **Site Development Plan** indicating:
 - Name of owner and owner's consultant(s), date of submittal, and lot designation
 - Scale and north arrow
 - Property boundaries and easements
 - Location of existing structures or other improvements, if applicable
 - Location, size, and type of all existing plant material, if applicable, including any existing vegetation which would be removed or altered.
 - Location of trunks and outer edge of canopy on all trees in excess of four inch (4") caliper, if applicable
 - Proposed building location(s) with related setbacks
 - Driveway, walks, and parking layout with related setbacks
 - Fence locations, heights, description and materials
 - Exterior lighting types descriptions and locations, including yard lights
 - Proposed utilities locations, if applicable

2. **Architectural Plans** including:

- Elevation Drawings, including all four (4) sides of building plus a front and side elevation of the garage. Elevations must specify all exterior materials used, including siding, roofing, foundation wall, decorative siding type, porch details, and trim type with dimensions where appropriate. Elevation plans should also call out window type, door type, roof pitch, depths of eaves, and floor to floor heights.
- Floor Plans, which shall include the square footage of finished living space for each floor, basements, and porches of the home on respective sheet.

3. **Landscape Plan.** Applicant shall submit the landscaping plan within two months of acquiring lot. Landscaping package should be completed within six months of acquiring lot. In the event of inclement season, landscaping should be completed no later than May 10 of the following year. The landscape plan should include:

- Location, size, and botanical name of all trees, shrubs, and ground covers to be added.
- Location of all annual and perennial flower bed areas.
- Delineation of seed/sod areas.
- Street trees and yard light required by developer.

4. **Color/Sample Board.** A sample board should be provided with indication of all exterior finish materials and colors. Color boards should include samples for all siding, decorative siding, brick type, foundation wall, trim details, porch details, and roof shingles.

2.6 **CONSTRUCTION PERIOD AND PROJECT REVIEW**

An ongoing periodic review of the construction of the Project will be undertaken by DRC staff representative(s) for the purpose of monitoring progress of the Project, and to ensure conformity with design plans previously approved by the DRC. Any deviations, which are significant, in the sole opinion of the DRC, will be brought to the Applicant's attention by written notification along with the measures that the DRC requires to mitigate or resolve the deviation.

2.7 **APEAL PROCEDURES**

If the Applicant wishes to appeal any decision of the DRC, applicant may do so by first submitting a written appeal to the DRC. The DRC will provide the

Applicant with reasonable notice and time of the meeting at which the Applicant's appeal will be reviewed. The Applicant will have the opportunity to attend this meeting and be heard prior to the DRC rendering a decision. Within seven (7) days after such meeting on the applicant's appeal, the DRC shall give notice in writing of its final decision to both the Applicant and the Fall Creek Place Homeowner's Association.

The Applicant may further appeal the decision of the DRC within seven (7) days following the date of notice of the DRC appeal decision as follows: The Applicant's appeal is made to the Fall Creek Place Homeowners Association Board of Directors. Reasonable notice will be given to the Applicant of the meeting at which the appeal will be reviewed. The Applicant will have an opportunity to be heard prior to the Board rendering a decision, provided applicant attends the scheduled meeting. The Board will review the Applicant's appeal at their next regularly scheduled meeting following the filing of the appeal. Failure of the Board to act within forty-five (45) calendar days from the date of filing will constitute approval. The Board will document in writing reasons for not granting an approval if that is the outcome of their review.

2.8 AMENDMENT PROCESS

These Design Guidelines may be updated and amended from time to time, through a unanimous agreement by the DRC. Upon such agreement, the DRC shall be responsible for creating a written addendum to the Design Guidelines, identifying changes made. All written addenda shall be numbered (i.e. Addendum 1, Addendum 2, etc.) and have a date identifying when such addenda was added. The DRC must present all addenda to the Fall Creek Place Homeowner's Association, and receive approval by the Fall Creek Place Homeowner's Association Board of Directors.

All addenda shall be added to the Design Guidelines and become incorporated into the Design Guidelines. The DRC will have the responsibility to record all addenda through the Marion County Recorder's Office, and all addenda shall not become enforceable until such recording is completed.

3 SITE LAYOUT AND LANDSCAPE GUIDELINES

3.1 SITE DESIGN AND SPACING

The DRC seeks to ensure that each residence works within the existing home sites in the best possible manner. Architecture, setbacks, and building orientation should complement the existing streetscape rhythm. The site plan concept developed for each home site should reflect functional needs but also be sensitive to the neighborhood's characteristics. The orientation and massing of houses will be viewed from many different angles along the streets within Fall Creek Place. The DRC shall consider each site independently but shall give extensive consideration to each individual plan's impact upon adjacent home sites and streetscape, massing, setbacks and the building heights.

Generally, front yard setbacks shall be between ten feet (10') and twenty-five feet (25') from the existing right-of-way. Side yard setbacks should have an aggregate minimum of ten feet (10'), with no side yard setback less than four feet (4'). Rear yard setbacks for garages shall be fifteen feet (15'), however, builders may seek a variance to allow for a smaller setback to provide greater rear yard space, providing rear setback is at least five feet (5') from alley.

Refer to the Builder's Guide for New Construction (Exhibit A) pages 5-7 for details and illustrations regarding appropriate setbacks, spacing, and building orientation.

3.2 BUILDING HEIGHTS AND PROPORTIONS

The basic outline and proportions of all new construction must be sensitive to the outlines of homes in the community. Roof shapes should create shapes or patterns consistent with the neighborhood context. Similarly, the basic proportions of window and door orientation should be compatible with the general architectural style of the building. Foundation heights must also be consistent with the overall context of the neighborhood, which generally means entrances shall be raised in a consistent manner.

Refer to the Builder's Guide for New Construction (Exhibit A) pages 8-11 for details and illustrations regarding appropriate building height, outline, fenestration, and foundation heights.

3.3 PARKING

On-street parking is allowed on the local neighborhood streets where designated and approved by governing review agencies having jurisdiction.

No curb cuts are permitted along the street front. All garages must be accessed from the rear alley. On corner lots, a garage may be accessible from the side street, providing such configuration meets local codes.

A garage is strongly recommended for all single family detached homes in Fall Creek Place. With the exception of corner lots, all garages would be detached garages accessible from the alley. The DRC shall consider exceptions on a case by case basis where a parking pad may be substituted in lieu of a garage to meet the criteria for affordable housing. Parking pads are also acceptable for all attached townhome units built in Fall Creek Place. The DRC shall have the rights to limit and restrict the location of all homes that will not have garages.

When a parking pad is substituted for a garage, the parking pad must be constructed with a turned down slab that would be able to accommodate a future garage should the owner opt to construct one in the future. Parking pads must also include parking bumpers and a minimum 36" high landscaped buffer surrounding three sides of the parking pad.

Garages must be constructed using a consistent design acceptable to the DRC. Garage construction will have more flexible standards than the primary dwelling unit, however, the design and appearance should be consistent with the home. Refer to Section 4.10 for specific detail about the physical design considerations for garages.

Garage and parking pad setbacks shall also be consistent with the overall setback lines in the neighborhood. Generally, this shall be a setback of fifteen feet (15') from the edge of the paved alley.

Temporary or permanent parking of any kind of motorized vehicle in the front, side and rear yards or on front porches is prohibited. Parking is restricted to pre-approved garages, parking pads; garage aprons, and on-street designated parking spaces.

3.4 DRIVEWAYS

Driveways for residential units should be concrete, although asphalt, exposed aggregate or other hard surface materials may be utilized with DRC approval prior to installation. In no event will gravel driveways be allowed. With the

3.7 LANDSCAPING

A landscaping plan for each newly built home must be approved by the DRC. The predominant design theme for Fall Creek Place is that of traditional streetscape with strategically located trees along streets, alleys, and yards throughout the neighborhood community. A palette of hardy indigenous, hardwoods and naturalized plant material is preferred. Deciduous trees, rather than conifers, is the more dominant tree type. All unpaved areas should be landscaped with trees, shrubs, and ground cover plantings. Large areas of gravel, bark mulch, or bare soil are prohibited.

1. **Sodding and Seeding.** All front yards and side yards should be established through sodding. Future repairs and improvements can be made by seeding, providing no bare soil remains for a prolonged period of time. Rear yards are also preferred to be sodded, however, seeding is also acceptable as the minimum requirement.
2. **Front Yard Landscaping.** All front yards shall have the following minimum landscaping requirements:
 - 1 deciduous shade tree, minimum two and one half inch (2-1/2") caliper measured one foot (1) above grade ("Street Tree"). Street Tree shall be planted between three and five feet (3' to 5') from the front property line as defined by the edge of the public sidewalk, in an acceptable location to the DRC that aligns with street trees planted within the public right-of-way.
 - 1 flowering tree, minimum one inch (1") caliper measured one foot (1) above grade ("Front Yard Tree").
 - 8 foundation shrubs, minimum eighteen inch (18") (spread foundation plantings).

Ornamental, fruit, evergreen, and other deciduous trees may be planted elsewhere on the property, but shall not be planted between the sidewalk and the curb and do not constitute satisfaction of the minimum requirements of this section.

3. **Side Yard Landscaping.** For homes on a corner lot, the front yard landscaping requirements identified above shall also apply to the side yard. The Street Tree shall be planted on the property line along the street in an acceptable location to the DRC that aligns with any street trees planted within the public right-of-way.
4. **Irrigation.** Where irrigation is installed, the use of innovative, water efficient irrigation systems is strongly encouraged and

exception of corner lots and the potential attached garages accessible from the side street, all driveways shall extend from the alley only.

3.5 WALKS

All houses shall install front walks from the front porch to the public walk at street. Walks shall be concrete only, and must run parallel to the north/south property line of the home. All walks shall be a minimum width of three feet (3'). Walks in the rear yard are acceptable, but not required.

3.6 FENCING AND WALLS

All fencing and walls are subject to DRC approval prior to installation.

Special consideration should be given to the design, placement, impact and views of a wall or fence from neighboring home sites. Fencing should be considered as a design element to enclose and define courtyards and other private spaces, provide security, and relate building forms to the landscape.

Any fencing used in the front yard must be between thirty-six inches (36") to forty-two inches (42") in height. Front yard fencing must be open spaced pickets and may not be a privacy fence.

Privacy fencing may be used in the rear yard, but must be no greater than six feet (6') in height. If a privacy fence is utilized, it should stop at approximately the mid-point between the front and rear of the home.

It is recommended that any solid walls be constructed of the same materials found in the architecture of the residence.

No chain link or welded wire fencing will be permitted within the neighborhood community. No fence may be erected within landscape easements, utility, or other easements, abutting or adjacent to parks.

If an open spaced picket fence is to be installed along a landscape easement, it must be erected on the inside of the landscape easement as defined by the edge of the landscape or right-of-way easement that is farthest from the adjoining street and nearest the residence.

Refer to the Builder's Guide for New Construction (Exhibit A), page 12 for supplemental graphic details on fencing.

recommended. All irrigation systems are to be below ground, fully automated systems in compliance with all applicable building code requirements. All backflow control devices are to be located or screened so that they are not visible from the streets.

3.8 LIGHTING

All homes shall be required to have at least one (1) porch light mounted near the front door, and one (1) pole-mounted yard light. Yard lights shall be located no further than three feet (3') from the front yard property line and should be positioned adjacent to the walk connecting the front porch to the public sidewalk. Yard lights should also be equipped with a standard dusk to dawn light. Porch lights and yard lights should be black. All bulbs should be white or clear. No colored bulbs or lenses are permitted. Specifications for lighting are provided in Exhibit D.

A light is also required to be mounted to the garage facing the rear alley. The alley light should also be equipped with a standard dusk to dawn light.

3.9 MAILBOX AND ADDRESS MARKERS

All homes must have a standard black, wall-mounted mailbox. Mailbox should be mounted next to the entry door. Exhibit E provides a graphic illustration of the preferred mailbox.

Homes will be required to identify their street address on the front of their homes and on the garage facing the alley. Address identification on the front of the home can be provided with etching on a glass transom above the front door OR with a standard address marker plaque. Exhibit F provides a graphic illustration of preferred address identification for the front of the home. Individual numbers nailed to the garage are acceptable for identification on the garage.

3.10 SIGNAGE

All signage is subject to applicable local and state regulations and any permanent signs must be approved by the DRC prior to submission to such agencies. Notwithstanding any other requirements of this section, the Master Developer may install signs of a certain type and in certain locations as may be approved by the appropriate governmental agencies for identification, directional, or informational purposes.

Builders, Owners, and Applicants are permitted only one (1) temporary building sign to be erected per homestead. Special signage may be allowed on a temporary basis for special events, per the approval of the Design Review Committee.

All signage to be used for new housing construction must be consistent with approved builder sign shown in Exhibit C ("Lot Sign"). Lot Signs shall be flexible to allow Applicant to include information relating to contractors, realtors, or other parties as deemed appropriate. A portion of the Lot Sign shall be flexible to accommodate interchangeable decals. In addition, a flag extension on the bottom of the sign indicating "Sold," "For Sale," "Model" or other suitable wording is also permissible.

Contractors are responsible for maintenance of all signage within their site(s). Repairs should be made in a timely manner.

Owners shall be responsible for maintenance and ultimate removal of any temporary signs, including political signs and realtor signs.

No sign shall be located in such a way as to create a traffic or other hazard, obstruct any other sign, or restrict visibility for vehicular or pedestrian circulation or views of the surrounding buildings and environment.

Identification signage is not allowed within the right-of-way of a dedicated public street, nor any other areas not approved by the DRC.

Signs advertising goods or services, home occupation signs, special event signs, and portable signs will not be permitted unless approval is granted from the DRC.

3.11 MOUNTED EQUIPMENT

Items such as skylights, solar panels, vents, access ladders, condensers, electric and gas meters, etc., should be strategically located so they are not visible from the street if possible. All skylights should be flat, no bubble or curved glass will be allowed. Where mechanical or service equipment, satellite dishes, or other equipment is located on the roof, it shall be grouped into concentrated areas with attempts made to minimize view from the street. Efforts should be made to screen mechanical equipment when possible. Metal flashing, flues and any other exposed roof top mechanical equipment should be non-reflective.

4 RESIDENTIAL ARCHITECTURAL GUIDELINES

The architectural character of existing buildings, streetscape, and landscape establishes a frame of reference for Fall Creek Place. To create harmony between the existing urban fabric and new elements, new residential construction should be compatible with the existing architectural character. Compatible designs should not seek to imitate the historic architecture of existing homes, but reflect their surrounding in terms of scale, orientation, and materials.

It is desirable for the homes of the neighborhood community to exhibit the individuality of their owners, as well as, adhere to the guidelines for their selected architectural style. However, It is equally important that they observe basic design principles inherent in good architecture.

The Builder's Guide for New Construction (Exhibit A) presents a very comprehensive architectural guide for five different styles of new homes suitable for Fall Creek Place (see pages 16-40). This Guide should be referenced to understand the primary visual elements for each architectural type.

This section of the Design Guidelines presents some general design considerations that should be adhered to for new residential construction.

4.1 GENERAL DESIGN FEATURES

The main entrance should have a sense of prominence that is reflected in the design. The entry should be sheltered on the exterior under a porch structure and include a front door with no sidelights. A transom window above should be considered. Deep front porches which create outdoor living spaces are encouraged on the front elevation.

Consistency of detailing on all elevations should be maintained. Windows and doors should be consistent in the number of types, locations, styles, and sizes. All openings should be articulated with the use of wide window trim and flat projecting sill or surrounds.

Within a specific block, the DRC may determine that no two homes with similar elevations or mirrored elevations and colors are located within five (5) houses of each other from the street frontage. Adjacent home should possess significant differences in their design and colors.

4.2 ROOF

Roof forms should be well organized and demonstrate the same character on all sides of the residence. Roof pitch should reflect the architectural character of the home, and may be either gable, hipped, or a combination. Eave lines should align wherever possible. Eaves and rakes should be articulated by multiple fascia boards, cove and crown molds, or gutters. Eave overhang should be minimum sixteen inches (16") from exterior face of structural framing. Gutters and downspouts shall be used at all eave lines unless deemed inappropriate.

4.3 FOUNDATIONS

Foundation wall should have minimum sixteen inch (16") exposure. Exposed foundation wall above grade shall be brick veneer, split-face block (rough side exposed), or stone. No house slabs on grade will be permitted. Homes constructed on slab must maintain minimum sixteen inch (16") exposure. Skirt boards should be installed to maintain these foundation exposures. Floor elevations should be adjusted to meet these minimum exposures.

4.4 FRONT AND SIDE PORCHES

Well-executed, prominent porches are preferred features. Porches are preferred to have a minimum depth of seven feet (7') to create outdoor living area. Front porches should have decorative railings and/or walls consistent with architecture of home. Attention to the porch details will be extremely important and a focus of the DRC. Porch floor decking material selection is contractor's choice. Pressure treated or unpainted pressure treated lumber will not be permitted. Stained porch materials are to be finished in a heavy body pigmented stain. Lattice porch foundations should be built with solid curtain wall blocking and lattice securely fastened to curtain wall. Generally, lattice foundations and the use of untreated pressure treated lumber is discouraged.

4.5 WINDOWS

All windows must be double-hung in appearance (except transoms). Single hung windows with a lower operable sash and fixed, non-operable windows are acceptable provided they have a double hung appearance. No casement windows are allowed. Preferred window types include all wood, vinyl-clad wood, or aluminum-clad wood window. All-vinyl windows may be utilized, provided they have an acceptable profile. Window types should be called out on plans, and DRC may request examples of all-vinyl window type for approval.

Under no circumstances will snap in grids or grids sandwiched between two panes of glass be allowed.

If all-vinyl windows are used, windows must have painted wood trim, consistent with the architectural style of the home.

Generally, window trim should have a header at a minimum width of five and one-half inches (5 1/2"), side trim with a minimum width of three and one-half inches (3 1/2"), and bottom trim with a minimum of one and one-half inches (1 1/2"). Trim detailing will be reviewed on a case by case basis, as the trim style and dimensions should reflect the style of the home.

Bay windows must be carried down to grade or express visual support of a cantilevered condition. When bay windows are stacked in a two-story condition, the blank panel between all facets should be articulated.

4.6 EXTERIOR DOORS AND TRIM

Exterior doors should have deadbolts. Doors should be called out on all plans submitted to DRC. Front doors should maintain an architectural character consistent with the home design. Flush doors without lights will not be permitted. Decorative sidelights will not be permitted. Transoms with the address etched in glass above the front door are encouraged. Door trim should match exterior window trim treatment. Wood trim around doors is required when wood trim is used on windows.

4.7 SIDING AND DECORATIVE TRIM

Brick, wood, or cement-fiber are preferred exterior materials. Vinyl siding may be utilized, provided it is a smooth surface with no wood grain stamping or texture, and is a flat color, not shiny. Wood grain stamped vinyl siding will not be permitted. Examples of suitable vinyl siding include Wolverine, Royal Architectural, and CertainTeed Main Street. No dutch lap vinyl siding will be permitted, as all vinyl siding shall be either double-four or triple-three type. Vinyl siding with a brush-stroke finish in lieu of a wood grained texture is acceptable, but should be called out on plans submitted to the DRC. Contractors may submit alternative siding and materials for DRC consideration.

Generally, horizontal siding should have a maximum six-inch (6") reveal. Mixing of material types should be restricted to fishscale or shake decorative siding at second floor transition and in gables in conjunction with horizontal siding. Emphasis by the DRC will be placed on transitions between materials. Trim boards, corner and frieze boards should be built out with filler boards to allow

siding to be tucked behind trim board. Corner trim boards should be minimum of three and one-half inches (3 1/2") in width. Bandboards separating the first and second floor, and separating the first floor with the foundation wall are encouraged. Bandboards must be wood when wood trim is required on windows and doors. Bandboard width should be consistent with architectural character of the home, generally a minimum width of nine and one-quarter inches (9 1/4") is preferred. Siding latticework, spindles, brackets and other decorative trim is encouraged. Whenever present, emphasis on scale, size, and thickness of decorative trim will be scrutinized. Undersized, under-scale and inappropriate size decorative trim will not be approved. All trim must be smooth surface trim. No rough-saw trim will be accepted.

T-1-11 or similar product styles and types will not be approved. Limited use of board and batten will be reviewed on case by case basis but generally will be restricted to small accent areas.

4.8 BRICK

The use of brick is encouraged, but should be provided on all four sides of the home. Brick on only the front elevation (other than porches) or first floor levels only will not be permitted. In some instances, the use of brick along the front, wrapping to a logical termination point on the side elevations may be considered, and will be reviewed and approved on a case by case basis by the DRC. All masonry materials should have color and type identified on plans for approval by the DRC. Brick front porches are desirable and encouraged.

4.9 GARAGES

A detached garage is highly preferred for all single family detached homes. Garages are required on all corner lots. Corner lots may have attached garages with potential access from the side street. As discussed in Section 3.3, a parking pad may be substituted in lieu of a garage if the DRC determines that having a garage would restrict affordability for the homebuyer. The DRC will restrict the location of where homes can be located that do not have a garage.

In general, the following criteria apply for the construction of the garage:

1. Two-car garages should have a minimum 20'-0" x 20'-0" exterior dimension. A smaller one-car garage will also be acceptable, but DRC may restrict location of such homes.
2. Roof slope must be minimum 4:12 roof slope. Roof slope is preferred to match primary dwelling.
3. Gable or hip roofs are acceptable on garage.

4. Roof shingles must match those on primary dwelling.
5. Attic/roof should be vented by soffit vents and roof vents (ridge, attic, gable vents acceptable).
6. Aluminum gutters and downspouts must match those on primary dwelling.
7. Garage should have minimum eave overhang as required for roof venting. Same overhang depth and finish as primary dwelling is preferred.
8. Garage must be wood framed wall and roof construction. Minimum structural member spacing should be twenty-four inches (24") on center.
9. Garage should have minimum eight foot (8'-0") tall exterior walls.
10. Horizontal siding and trim must match those on primary dwelling. Decorative siding in gables is preferred, but not required.
11. Overhead and passage doors must be finished to match house.
12. Concrete or block foundation wall on footing should be minimum thirty inches (30") below grade.
13. An exposed foundation wall is preferred with split-face concrete block to match primary dwelling, but is not required.

APPENDIX A

DEFINITIONS

APPLICANT - The owner or owner's representative who is responsible for the development of property or parcels within Fall Creek Place.

DESIGN REVIEW COMMITTEE (DRC) - as defined in the Declaration of Covenants Conditions & Restrictions.

COMMUNITY DEVELOPMENT PLAN - The overall plan for Fall Creek Place as approved and as may be amended.

DECLARATION - The Documents of the Fall Creek Place Homeowners Association and Exhibits for Fall Creek Place recorded or to be recorded in the Marion County Recorders Office.

DESIGN REVIEW - Process for evaluation of development plans to determine compliance with the Design Guidelines.

DESIGN GUIDELINES - Description of the planning areas shown on the Land Use Master Plan. The Development Guidelines establish density and land use for each planning area and represent the approved zoning.

DEVELOPER - Developer as identified in Declarations of Covenants, Conditions and Restrictions, Bylaws and Design Guidelines.

MODIFICATIONS COMMITTEE (MC) - as defined in these Design Guidelines and Fall Creek Homeowners Association documents.

FALL CREEK PLACE HOMEOWNERS ASSOCIATION - The association for owners of property in Fall Creek Place as defined in the Declaration of Covenants, Conditions & Restrictions.

OPEN SPACE - Public or private land and aquatic areas which are managed to protect the natural environment; provide recreational opportunities; shape the pattern of development; or any combination thereof, including yards, common areas and elements, but excluding therefrom buildings.

PHASE AREA - Refers to the phases identified on a Phase Plan that periodically is updated by Master Developer.

APPENDIX B

APPROVAL

DESIGN REVIEW COMMITTEE (DRC)
FALL CREEK PLACE HOMEOWNERS ASSOCIATION, INC.

By: _____
Charles R. Cagann, Mansur Real Estate Services Inc., Member

By: _____
Chris Palladino, Mansur Real Estate Services Inc., Member

By: _____
Todd Rottmann, Rottmann Garner Architects

By: _____
Jody Dennerline, King Park Area Development Corporation, Member

By: _____
Jennifer Green- City of Indianapolis, Member

By: _____
Sean Murray, City of Indianapolis, Member

By: _____
Todd Dorcas, City of Indianapolis, Member

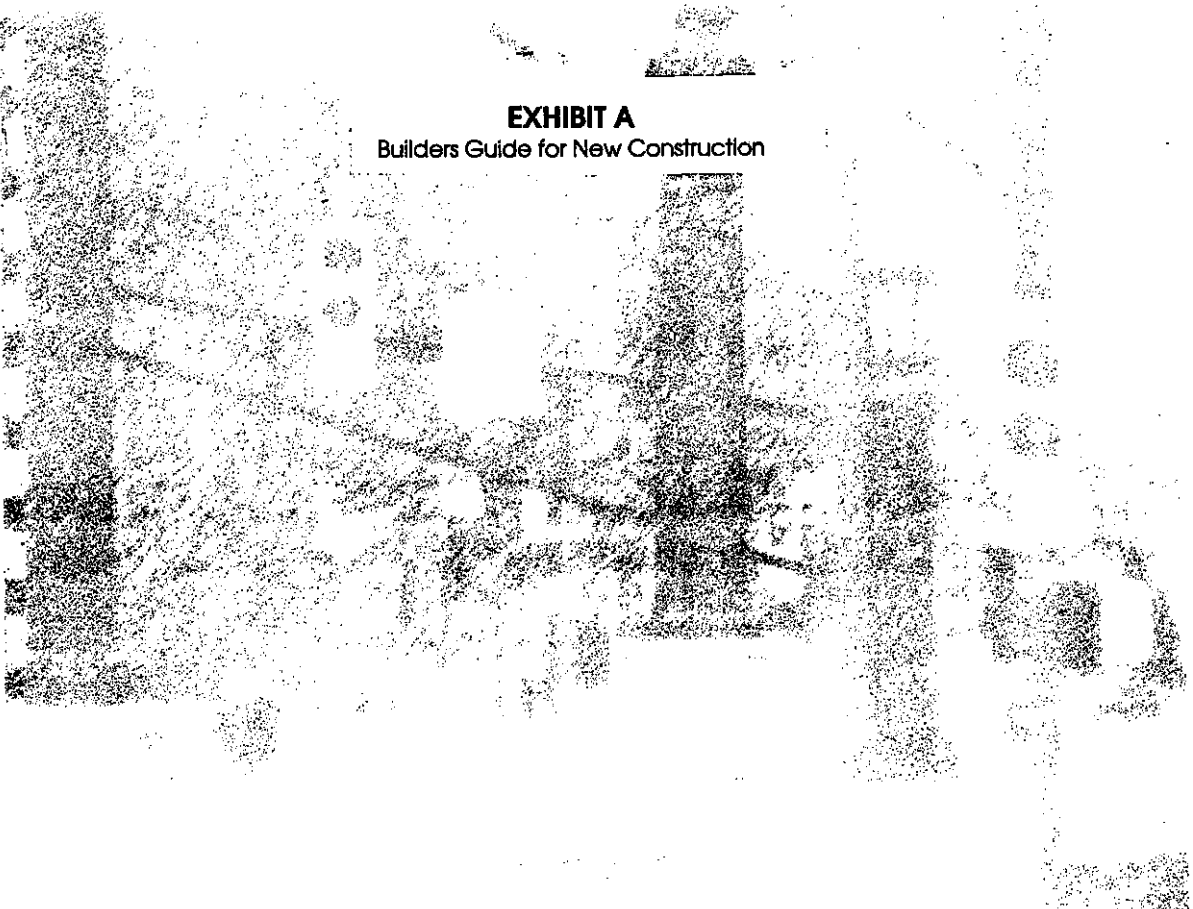


EXHIBIT A
Builders Guide for New Construction

BUILDER'S GUIDE
for new construction

Exterior Construction Standards
for Projects with City Participation

FALL CREEK PLACE

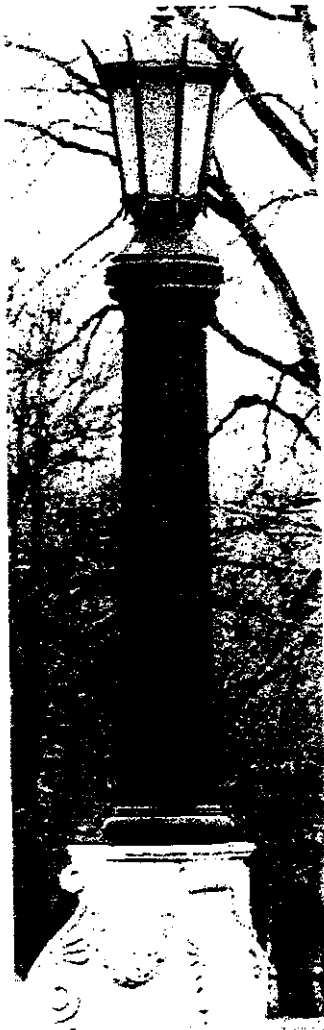
Indianapolis, Indiana

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FALL CREEK PLACE BUILDER'S GUIDE



FOREWORD

The purpose of this builder's guide is to present concepts, alternatives, and approaches that will produce design solutions which recognize the characteristics of Fall Creek Place and bring harmony between the new and existing buildings in the neighborhood. The guidelines presented in this guidebook are not intended to restrict creativity, but to set up a framework within which sympathetic design will occur. It should be noted that within the framework provided by this guidebook, many different design solutions are possible. New construction should reflect the best of the design trends and concepts of the period in which it was created. New structures should harmonize with the old and at the same time, be easily distinguished from the old so that the evolution of the Fall Creek area is discernable.

Prepared for
City of Indianapolis
Bart Peterson, Mayor

Department of Metropolitan Development
Carolyn M. Coleman, Director

NEW CONSTRUCTION GUIDELINES



Historic Neighborhood Scene

Photograph taken in 1909 showing Pennsylvania Street. The open porches, tree-lined street, and general atmosphere depict the neighborhood characteristics promoted by the Fall Creek Place Builder's Guide.

NEW CONSTRUCTION GUIDELINES: CONTEXT

These guidelines serve as an aid to designers of new houses in Fall Creek Place. The most important first step in designing compatible new construction in any urban neighborhood is to determine just what the context is to which the designer is expected to be sensitive.

Every site possesses a unique context. This context is comprised of the buildings immediately adjacent to the site, the nearby area (often the surrounding block), a unique subarea within the neighborhood, and the neighborhood as a whole. Generally, new construction will occur on sites that fall into the following categories. For each category described below, there is an indication of the context to which new construction must be primarily related.

1. **ISOLATED LOT:** This is usually a single vacant lot (sometimes two very small lots combined) which exists in a highly developed area with very few if any other vacant lots in view.
Context: The existing buildings immediately adjacent and in the same block, and the facing block provide a very strong context to which any new construction must primarily relate.
2. **LARGE SITE:** This is usually a combination of several vacant lots, often the result of previous demolition.
Context: Since this type of site was usually created as a result of relatively extensive demolition, its surrounding context has been weakened by its very existence. However, context is still of primary concern. In such cases, a somewhat larger area than the immediate environment must also be examined for context, especially if other vacant land exists in the immediate area.
3. **EXPANSIVE SITE:** This site may consist of a half block or more of vacant land or the site may be a smaller one surrounded by many other vacant sites. Often there is much vacant land surrounding the site.
Context: The context of adjacent buildings is often very weak or nonexistent. In this case, the surrounding neighborhood provides the primary context to the extent that it exists. Beyond that, the neighborhoods surrounding Fall Creek Place are available as context for determining character. This type of site often offers the greatest design flexibility. Where the strength of the context varies at different points around a site, new design should be responsive to the varying degrees of contextual influence.
4. **HISTORIC CONTEXT:** 1890-1930: Fall Creek Place is not presently a designated historic area. However, it is a neighborhood with a history and retains remnants of its past neighborhood character. The Builders Guide sometimes refers to "historic" buildings and "historic" character when defining the general visual context for the design, massing and siting of new houses in Fall Creek Place. The "historic" visual context referred to in this Builders Guide is simply the buildings constructed between the time this area was first developed in the 1890's and the early part of the 20th century.

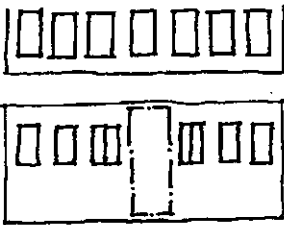
FALL CREEK PLACE

BUILDER'S GUIDE

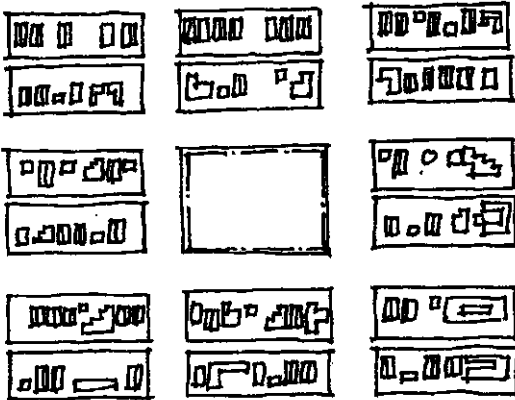
CONTEXT

The diagrams below illustrate the context descriptions found on the previous page.

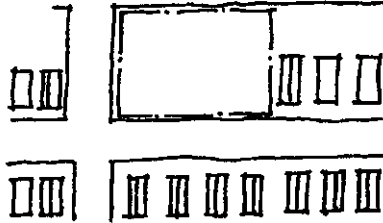
*ISOLATED SITE
NEW BUILDING ON SINGLE LOT*



USE EXISTING BUILDINGS SURROUNDING THE SITE IN DETERMINING DESIGN, MASSING & SITING OF NEW BUILDING.



*LARGE SITE
NEW BUILDING ON SEVERAL SITES*



USE EXISTING BUILDINGS SURROUNDING THE SITE IN DETERMINING DESIGN, MASSING & SITING OF NEW BUILDING

◀ *EXPANSIVE SITE
NEW BUILDINGS ON
LARGE SITE*

USE EXISTING BUILDINGS THROUGHOUT THE AREA IN DETERMINING DESIGN OF NEW BUILDINGS.

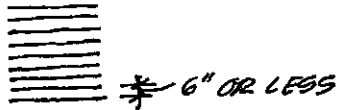
FALL CREEK PLACE BUILDER'S GUIDE

MATERIALS: The visual, structural, and performance characteristics of the materials visible on a building exterior.

RECOMMENDED:

1. Textures, patterns and dimensions of new building materials should be compatible with those found on historic buildings in the area.
2. Use of natural materials is preferred, although modern materials may be considered provided they appear similar to natural materials. For example, modern siding materials such as hardboard, or cementitious lap siding are a good alternative to natural materials because they have a paintable surface and may be installed using traditional methods. These alternatives produce a finished appearance which is very similar to natural materials.
3. When vinyl, aluminum, hardboard or other siding material is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics of wood clapboard siding found historically in the neighborhood. It should be installed with corner boards and dimensional window and door trim.

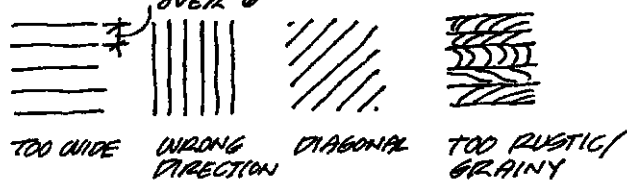
TYPICAL SIDING ON HISTORIC BUILDING



MAY BE APPROPRIATE ON NEW CONSTRUCTION



INAPPROPRIATE



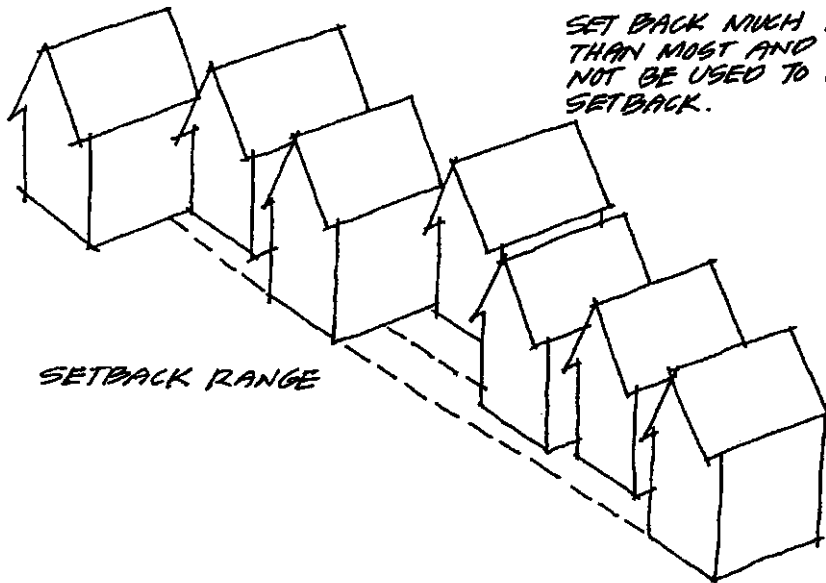
FALL CREEK PLACE BUILDER'S GUIDE

SETBACK: The distance a building is set back from a street.

RECOMMENDED:

1. A new building's setback should relate to the setback pattern established by the existing block and neighborhood context rather than the setbacks of building footprints which no longer exist. If the development standards for the particular zoning district do not allow appropriate setbacks, a variance may be required.
2. If setbacks are varied, new construction can be located within a setback That falls within an "envelope" formed by the greatest and least setback distances.
3. If setbacks are uniform, new construction should conform.
4. On corner sites, the setbacks from both streets should reflect the context.

*CLOSER TO STREET THAN MOST
AND SHOULD NOT BE USED TO
DETERMINE SETBACK.*



*SET BACK MUCH MORE
THAN MOST AND SHOULD
NOT BE USED TO DETERMINE
SETBACK.*

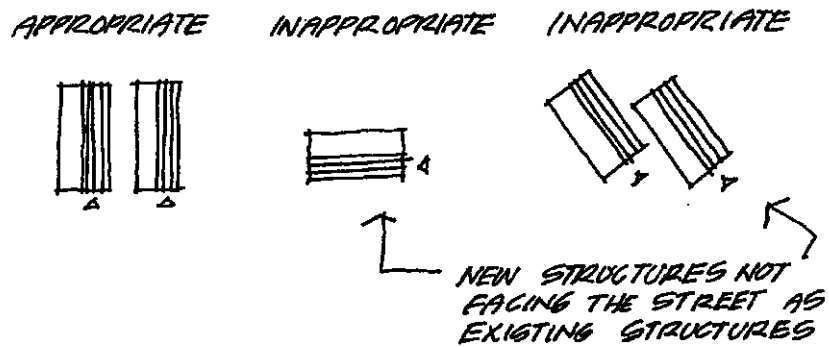
SETBACK RANGE

FALL CREEK PLACE BUILDER'S GUIDE

SPACING: The distances between contiguous buildings along a blockface.

RECOMMENDED:

1. New construction should reflect and reinforce the spacing in its block. New construction should reinforce the perceived regularity or lack of regularity of spacing on the block.
2. The creation of large open spaces where none existed historically should be avoided. Such spacing is uncharacteristic and establishes holes in the traditional pattern and rhythm of the street.



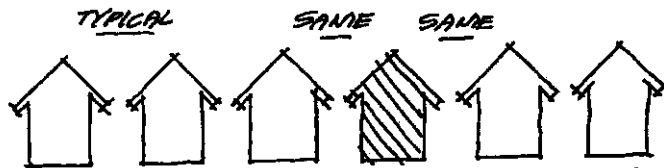
FALL CREEK PLACE BUILDER'S GUIDE

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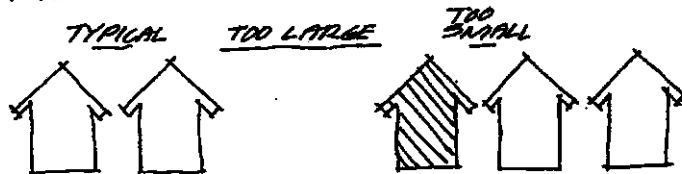
APPROPRIATE



MAYBE



INAPPROPRIATE

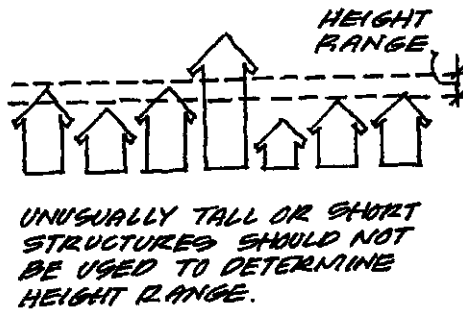


FALL CREEK PLACE BUILDER'S GUIDE

BUILDING HEIGHTS: The actual height of buildings and their various components as measured from grade.

RECOMMENDED:

1. Generally, the height of a new building should fall within a range set by the highest and lowest contiguous buildings if the block has uniform heights. Uncharacteristically high or low buildings should not be considered when determining the appropriate range. If the pattern of the block is characterized by a variety of heights, then the height of new construction can vary from the lowest to the highest on the block.
2. Cornice heights can be as important as overall building heights. Where there is uniformity, they should be compatible with contiguous buildings in a similar manner.
3. New construction at the end of a block should take in to account building heights on adjacent blocks.
4. If the area immediately contiguous to new construction does not offer adequate context to establish an appropriate new building height, the larger historic area context should be assessed.
5. Porch height can have an impact on the height relationships between buildings and should align with contiguous porch foundation and roof heights in a similar manner to building heights.
6. Foundation and floor line heights should be consistent with contiguous properties.
7. New buildings should not appear either diminutive or overscale in relation to its context.



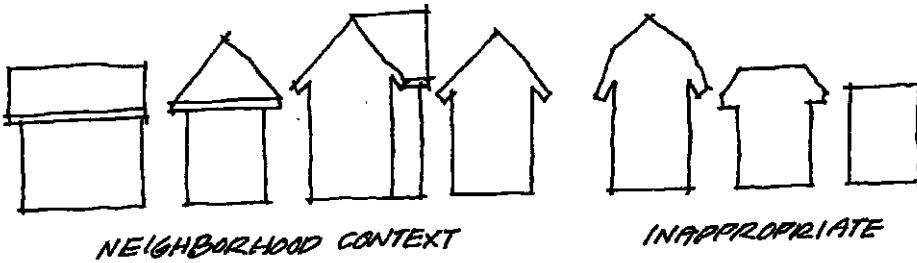
FALL CREEK PLACE BUILDER'S GUIDE

OUTLINE: The silhouette of a building as seen from the street.

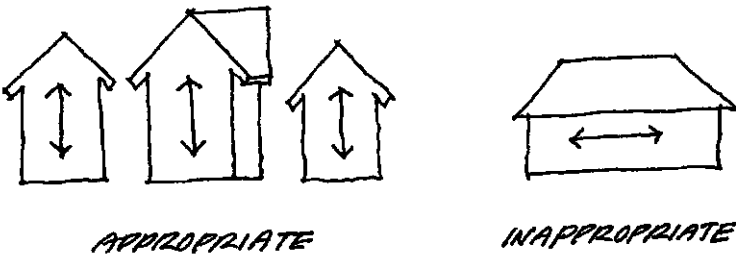
RECOMMENDED:

1. The basic outline of a new building should reflect building outlines typical of the area.
2. The outline of new construction should reflect the directional orientations characteristic of the existing buildings in its context.
3. Roof shapes should not create uncharacteristic shapes, slopes, and patterns.

SHAPE



DIRECTIONALITY

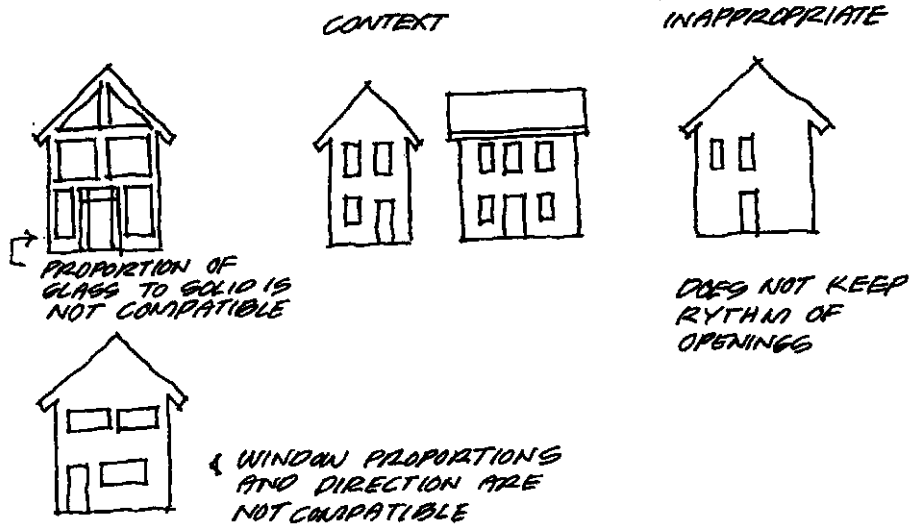


FALL CREEK PLACE BUILDER'S GUIDE

FENESTRATION: The arrangement, proportion, and design of windows, doors and openings.

RECOMMENDED:

1. Windows and doors should be arranged on the building so as not to conflict with the basic fenestration pattern in the area.
2. The basic proportions of glass to solid found on surrounding buildings should be reflected in new construction.
3. Window openings should be compatible in proportion and directionality to those typically found in examples of the architectural style employed by the design of the building.
4. Window sash configuration should be compatible with the architectural style.



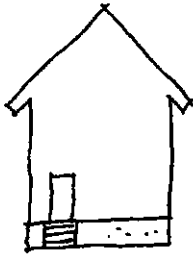
FALL CREEK PLACE BUILDER'S GUIDE

FOUNDATION: The support base upon which a building sits.

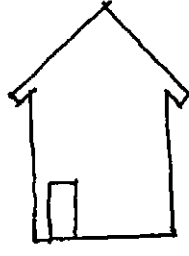
RECOMMENDED:

1. New construction should reflect the prevailing sense of foundation height on contiguous buildings.
2. Entrances should be raised in a similar manner as existing houses in the area.
3. Houses should not appear too close to the ground if surrounding buildings are raised on high foundations.

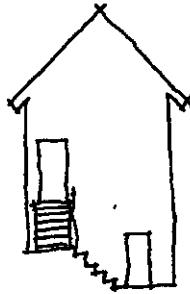
*(WHERE
APPROPRIATE)*



INAPPROPRIATE



*DOOR AT
GRADE*



*DOOR TOO FAR
ABOVE AND
BELOW GRADE*

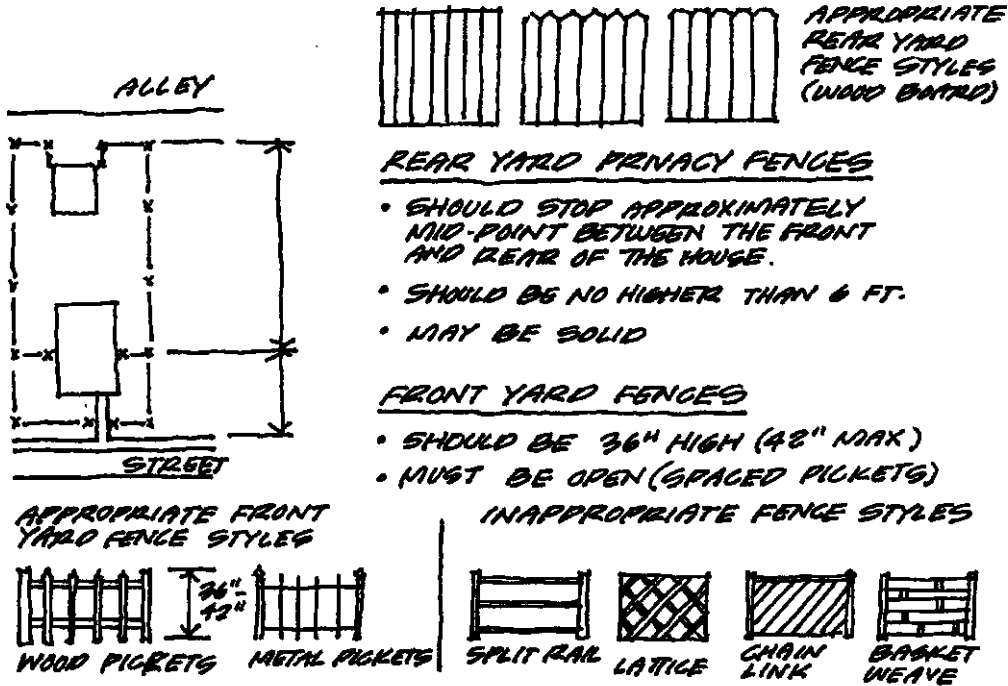
FALL CREEK PLACE

BUILDER'S GUIDE

SITE DEVELOPMENT AND LANDSCAPING

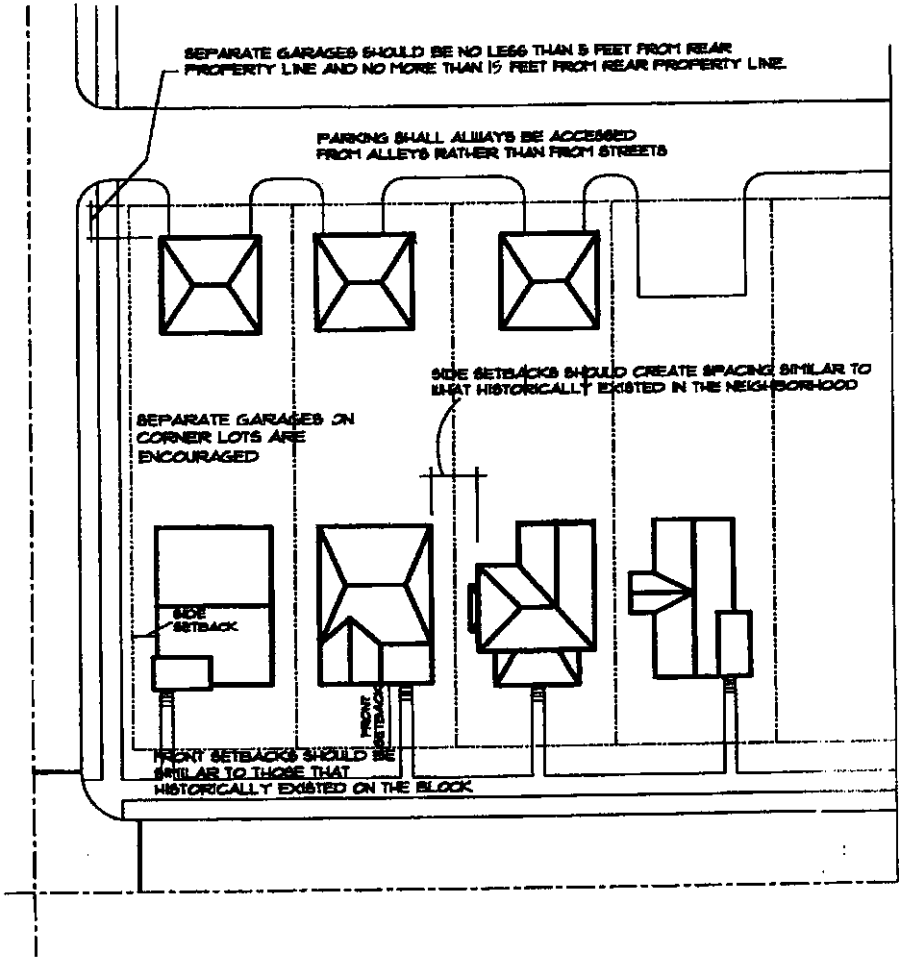
RECOMMENDED

1. Maintain the original topographic character of a site as perceived from the street.
2. Off-street parking should be located at the rear of the properties, oriented toward alleys, and screened if appropriate.
3. Privacy fences, if desired, should enclose only the rear yard.
4. Front yard fences, if desired, should be open in style and relatively low (usually not in excess of 42"). Picket, wrought iron, or other ornamental fence may be appropriate, depending on the use of the property.
5. Trees should frame and accent buildings and should line the street.



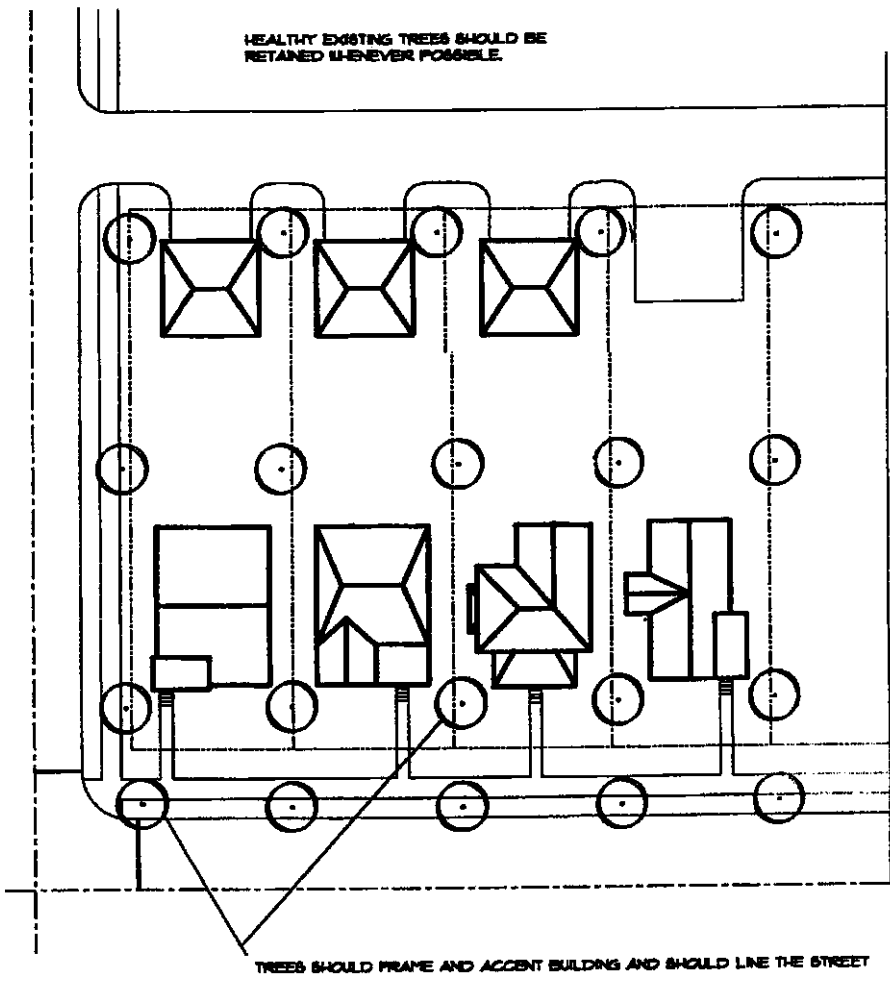
**FALL CREEK PLACE
BUILDER'S GUIDE**

SITE DEVELOPMENT DIAGRAM



FALL CREEK PLACE BUILDER'S GUIDE

APPROPRIATE TREE LOCATIONS



FALL CREEK PLACE BUILDER'S GUIDE



This image is an earlier streetscape view along north Alabama Street illustrating grass buffers between the street and sidewalk, and trees lining the street which frame the houses. For wider residential streets, a grass median or esplanade provides an attractive feature.