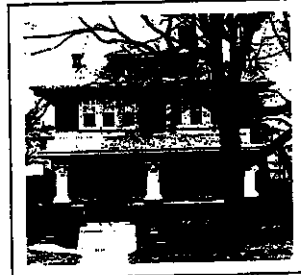


ARCHITECTURAL STYLES



Victorian



American Foursquare



Indianapolis Traditional



Craftsman



Colonial Revival

**ARCHITECTURAL STYLES Victorian**



Larger Historic Example



Smaller Historic Cottage

**Characteristics:**

- **Form:** Asymmetrical with projecting elements (porches, towers, bays).
- **Roof:** Steeply pitched with a variety of complex forms, tall chimneys.
- **Porch:** Deep porches covering part or entire front of house, often wraparound
- **Doors & Windows:** Generally tall and narrow. Vertical emphasis is important. A variety of sizes and shapes should be used on prominent elevations. Accent windows may employ different shapes.
- **Base:** Foundation raised several steps.
- **Materials & Colors:** Variety of textures, materials and colors.

**FALL CREEK PLACE  
BUILDER'S GUIDE**

**ARCHITECTURAL STYLES Victorian**



Good Recent Cottage Victorian



Good New Victorian

House Form	Plan	Complex, Featuring cross axes, projecting wings, porches, and balconies.
	Mass	Two stories. Large, vertical appearance.
	Balance	Asymmetrical Facade.

House Elements		Material	
Porches	Type	<ul style="list-style-type: none"> <li>• Deep front porch</li> <li>• Spans the street elevation, or</li> <li>• Part of the street elevation, or</li> <li>• Wraps around one side</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or Synthetic material - if it replicates wood in finish and dimensions</li> </ul>
	Columns & Details	<ul style="list-style-type: none"> <li>• Chamfered square posts, or turned posts, or</li> <li>• Classical columns.</li> <li>• Single, or grouped in pairs.</li> <li>• May include brackets: decorative galleries</li> </ul>	
	Railings	<ul style="list-style-type: none"> <li>• Turned spindles, or</li> <li>• 2 x 2 plain square posts</li> <li>• Traditional configuration</li> </ul>	<ul style="list-style-type: none"> <li>• Wood</li> </ul>
	Floor	<ul style="list-style-type: none"> <li>• Tongue and groove, or</li> <li>• Slab</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or</li> <li>• Concrete</li> </ul>
	Steps	<ul style="list-style-type: none"> <li>• Several simple steps</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or</li> <li>• Concrete</li> </ul>

**FALL CREEK PLACE**  
**BUILDER'S GUIDE**

**ARCHITECTURAL STYLES**    **Victorian**

House Elements		Material
Windows	Window Type(s)	Double Hung, insulated glass
	Basic Shape	Rectangular, narrow, vertical proportion
	Basic Window Panes	Single pane per sash (no multiple panes or snap-in grids)
	Special Accent Windows	<ul style="list-style-type: none"> <li>• May vary in size and detail</li> <li>• May include colored glass</li> <li>• May be multi-paned (no snap-in grid)</li> </ul>
	Window Trim	<ul style="list-style-type: none"> <li>• Wide Trim</li> <li>• No Brick Molding</li> <li>• Separate window heads and sills</li> </ul>
		<ul style="list-style-type: none"> <li>• Wood, or Vinyl Clad</li> <li>• Wood</li> </ul>
Doors	Door Type(s)	<ul style="list-style-type: none"> <li>• Single or double</li> <li>• Tall with transom above</li> </ul>
	Door Style(s)	<ul style="list-style-type: none"> <li>• Glass in upper section,</li> <li>• Panels in lower section</li> </ul>
	Door Trim	<ul style="list-style-type: none"> <li>• Simplified classical surround</li> </ul>
		<ul style="list-style-type: none"> <li>• Wood, or Metal (if detailed and like a wood door)</li> </ul>
Foundation	House	<ul style="list-style-type: none"> <li>• Raised 15" minimum above grade</li> <li>• Skirt board and drip edge 24" minimum above grade</li> <li>• May be adjusted to comply with surrounding houses</li> </ul>
	Porch	<ul style="list-style-type: none"> <li>• Piers with lattice infill</li> <li>• Piers faced with same material used on house foundation</li> </ul>
	Garage	<ul style="list-style-type: none"> <li>• Slab</li> </ul>
		<ul style="list-style-type: none"> <li>• Brick, or Decorative concrete block</li> </ul>

**FALL CREEK PLACE**  
**BUILDER'S GUIDE**

**ARCHITECTURAL STYLES Victorian**

House Elements		Material
Roof	Pitch	approximately 8-12 to 12-12
	Shape(s)	<ul style="list-style-type: none"> <li>• Irregular Shapes combined</li> <li>• Gables, hips, turrets, towers, dormers, conical tower roofs</li> <li>• One dominant gable should face the front and include a decorative window</li> </ul>
	Colors	<ul style="list-style-type: none"> <li>• Medium to dark slate gray</li> </ul>
Chimney(s)	Style	<ul style="list-style-type: none"> <li>• Brick chimney; tall and thin with decorative top</li> <li>• No wood or stucco sided box chimneys.</li> <li>• Metal stovepipes allowed if not visible from street</li> <li>• Thru-the-wall allowed if the vent is not on the front.</li> <li>• Thru-the-wall bump outs allowed on rear facades only.</li> </ul>
Siding	Basic Type(s)	<ul style="list-style-type: none"> <li>• Clapboard with max. 6" reveal</li> <li>• Brick: on entire exterior or front &amp; sides.</li> <li>• Brick on only the first floor; clapboards and/or shingling above</li> <li>• Mix materials, clapboard siding, decorative fishscale shingles, brick, decorative wood panels on same house. Emphasis on transition between materials</li> </ul>
	Decorative Trim & Details	<ul style="list-style-type: none"> <li>• Decorative shingles in gable ends,</li> <li>• Band of pickets, shingles, or half-lumber like stickwork on the street elevation,</li> <li>• Wood decorative accents such as trim boards with carved and incised shapes,</li> <li>• Lattice work, spindles</li> <li>• Chamfered edges.</li> </ul>
	Paint Colors	<ul style="list-style-type: none"> <li>• Siding colors should be bold; choose medium to strong colors</li> <li>• Trim a lighter or darker color than siding.</li> <li>• A third color may be used for accent.</li> <li>• Additional colors may be appropriate if the house is highly detailed.</li> </ul>

**ARCHITECTURAL STYLES**    **Victorian**

Porch Example



Examples of Trim and Details

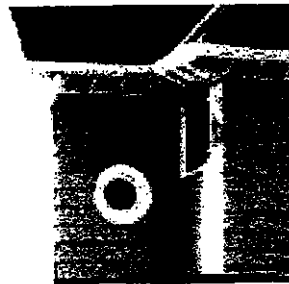
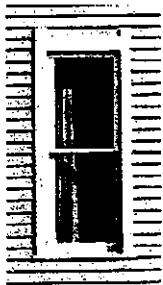


**ARCHITECTURAL STYLES**    **Victorian**

**Examples of Forms and Shapes**



**Examples of Windows and Doors**



**ARCHITECTURAL STYLE    American Foursquare**



Historic Example

**Characteristics:**

- **Form:** Symmetrical with projecting elements (porches, bays)
- **Roof:** Moderate pitched roofs, typically gable or hipped
- **Porch:** Deep porches covering part or entire front of house
- **Doors & Windows:** Large and wide double-hung
- **Base:** Foundation raised several steps
- **Materials & Colors:** Variety of textures, materials and colors



**FALL CREEK PLACE  
BUILDER'S GUIDE**

**ARCHITECTURAL STYLES American Foursquare**



Good New Foursquare

House Form	Plan	Square or rectangular
	Mass	Two stories. Large, square appearance.
	Balance	Simple, symmetrical facade

House Elements		Material	
Porches	Type	<ul style="list-style-type: none"> <li>• Deep front porch</li> <li>• Spans the street elevation</li> <li>• Part of the street elevation</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or Synthetic material - if it replicates wood in finish and dimensions</li> </ul>
	Columns & Details	<ul style="list-style-type: none"> <li>• Square posts, or Brick columns.</li> <li>• Wood may be single, or grouped in pairs.</li> </ul>	
	Railings	<ul style="list-style-type: none"> <li>• Turned spindles, or</li> <li>• 2 x 2 plain square posts / slats</li> <li>• Traditional configuration</li> </ul>	<ul style="list-style-type: none"> <li>• Wood</li> </ul>
	Floor	<ul style="list-style-type: none"> <li>• Tongue and groove, or Slab</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or Concrete</li> </ul>
	Steps	<ul style="list-style-type: none"> <li>• Several simple steps</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or Concrete</li> </ul>

**FALL CREEK PLACE  
BUILDER'S GUIDE**

**ARCHITECTURAL STYLES American Foursquare**

House Elements			Material
Windows	Window Type(s)	Double Hung, insulated glass	• Wood, or Vinyl Clad Wood
	Window Shape	Rectangular, wide	
	Window Panes	Single pane per sash (no multiple panes or snap-in grids)	
	Special Windows	• May vary in size and detail	
	Window Trim	• Wide Trim • No Brick Molding	• Wood
Doors	Door Type(s)	• Single • Tall with transom above	• Wood, or Metal (if detailed and like a wood door)
	Door Style(s)	• Glass in upper section, Panels in lower section or full lite	
	Door Trim	• Simplified classical surround	
Foundation	House	• Raised 15" minimum above grade • Skirt board and drip edge 24" minimum above grade • May be adjusted to comply with surrounding houses	• Brick, or Decorative concrete block
	Porch	• Piers faced with same material used on house foundation	
	Garage	• Slab	

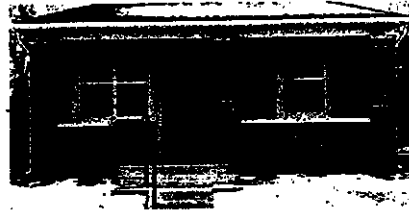
**FALL CREEK PLACE**  
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**ARCHITECTURAL STYLES American Foursquare**

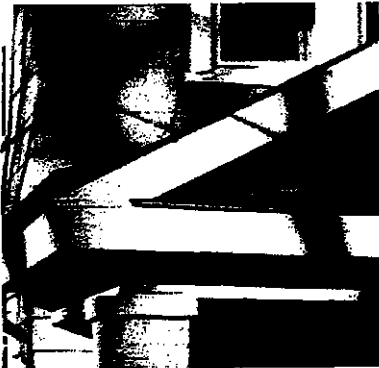
House Elements			Material
Roof	Pitch	approximately 6-12 to 8-12	<ul style="list-style-type: none"> <li>Asphalt, or Fiberglass shingles</li> </ul>
	Shape(s)	<ul style="list-style-type: none"> <li>Simple shapes</li> <li>Gables or hips with dormers where required</li> </ul>	
	Colors	medium to dark slate gray/Brown/Red/Green	
Chimney(s)	Style	<ul style="list-style-type: none"> <li>Brick chimney; wide, sturdy</li> <li>No wood or stucco sided box chimneys.</li> <li>Metal stovepipes allowed if not visible from street</li> <li>Thru-the-wall allowed if the vent is not on the front.</li> <li>Thru-the-wall bump outs allowed on rear facades only.</li> </ul>	<ul style="list-style-type: none"> <li>Brick, or Metal (stovepipe)</li> </ul>
Siding	Basic Type(s)	<ul style="list-style-type: none"> <li>Clapboard with max. 6" reveal</li> <li>Brick: on entire exterior or front &amp; sides.</li> <li>Brick on only the first floor; clapboards and/or shingling above</li> <li>Mix materials, clapboard siding, decorative shake shingles, brick, decorative wood panels on same house.</li> </ul>	<ul style="list-style-type: none"> <li>Wood</li> <li>Hardboard</li> <li>Brick veneer</li> <li>Decorative wood shingles</li> </ul>
	Decorative Trim & Details	<ul style="list-style-type: none"> <li>Exposed framing/trim at eaves</li> <li>Large horizontal wood band board at transition between first and second floor</li> </ul>	<ul style="list-style-type: none"> <li>Wood</li> </ul>
	Paint Colors	<ul style="list-style-type: none"> <li>Siding colors should be chosen from medium palette.</li> <li>Trim a lighter or darker color than siding.</li> </ul>	<ul style="list-style-type: none"> <li>Standard House Paint</li> </ul>

**ARCHITECTURAL STYLES American Foursquare**

Examples of Porches

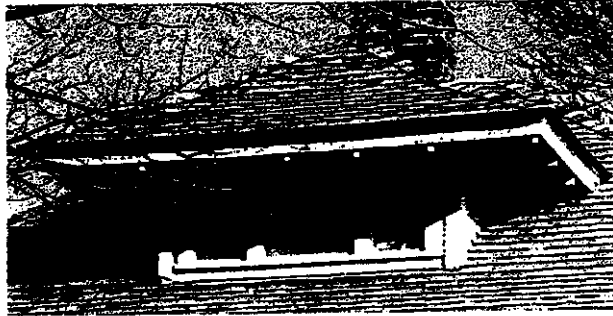


Examples of Trim and Details

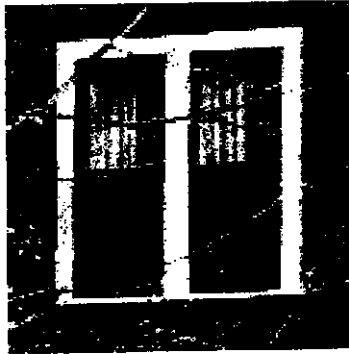


**ARCHITECTURAL STYLES American Foursquare**

**Examples of Forms and Shapes**



**Examples of Windows**



ARCHITECTURAL STYLES **Craftsman**



Historic Example

Characteristics:

- **Form:** Usually rectangular. May be more complex with projections, broad porches.
- **Roof:** Broad planes. Exposed rafter tails, perkins and other structural
- **Porch:** Wide. Often recessed under main roof. Tapered columns or massive piers.
- **Doors & Windows:** Single or set in groups. Multiple panes, one-over-one double hung or casement
- **Base:** Foundation raised several steps. Brick, stone, or rusticated cement block.
- **Materials & Colors:** Natural materials. Stained or painted dark earth tones.

# FALL CREEK PLACE

## BUILDER'S GUIDE

ARCHITECTURAL STYLE **Craftsman**



Good New Craftsman

House Form	Plan	Square or rectangular
	Mass	One, one and one-half, or two stories, with projections at sides where dictated by plan
	Balance	Semi-symmetrical facade.

House Elements			Material
Porches	Type	<ul style="list-style-type: none"> <li>• Deep front porch</li> <li>• Spans the street elevation, or</li> <li>• Part of the street elevation, or</li> <li>• Wraps around one side</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or Synthetic material - if it replicates wood in finish and dimensions</li> </ul>
	Columns & Details	<ul style="list-style-type: none"> <li>• Heavy piers often made of fieldstone manufactured masonry material, over scaled beams.</li> <li>• Posts and knee braces</li> <li>• Tapered square wood columns</li> </ul>	
	Railings	<ul style="list-style-type: none"> <li>• 2 x 2 plain square posts</li> <li>• Traditional configuration</li> </ul>	<ul style="list-style-type: none"> <li>• Wood</li> </ul>
	Floor	<ul style="list-style-type: none"> <li>• Tongue and groove, or</li> <li>• Slab</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or</li> <li>• Concrete</li> </ul>
	Steps	<ul style="list-style-type: none"> <li>• Several simple steps</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or</li> <li>• Concrete</li> </ul>

**FALL CREEK PLACE**  
**BUILDER'S GUIDE**

**ARCHITECTURAL STYLES    Craftsman**

House Elements			Material
Windows	Window Type(s)	Double Hung, insulated glass	<ul style="list-style-type: none"> <li>• Wood, or Vinyl Clad Wood</li> </ul>
	Window Shape	Rectangular, narrow, vertical proportion	
	Window Panes	<ul style="list-style-type: none"> <li>• Multiple panes per sash</li> <li>• One-over-one</li> <li>• Multiple pane sash over one</li> </ul>	
	Special Windows	<ul style="list-style-type: none"> <li>• May vary in size and detail</li> <li>• No snap-in grids</li> </ul>	
	Window Trim	<ul style="list-style-type: none"> <li>• Wide Trim</li> <li>• No Brick Molding</li> <li>• Separate window heads</li> </ul>	<ul style="list-style-type: none"> <li>• Wood</li> </ul>
Doors	Door Type(s)	<ul style="list-style-type: none"> <li>• Single or double</li> <li>• Wide; without transom; prominent hardware; often used strap hinges, etc.</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or Metal (if detailed and like a wood door)</li> <li>• Stainable</li> <li>• Fiberglass</li> </ul>
	Door Style(s)	<ul style="list-style-type: none"> <li>• Simple with very little panel work.</li> </ul>	
	Door Trim	<ul style="list-style-type: none"> <li>• Simplified classical surround</li> </ul>	
Foundation	House	<ul style="list-style-type: none"> <li>• Raised 15" minimum above grade</li> <li>• Skirt board and drip edge 24" minimum above grade</li> <li>• May be adjusted to comply with surrounding houses</li> </ul>	<ul style="list-style-type: none"> <li>• Brick, or Decorative concrete block</li> </ul>
	Porch	<ul style="list-style-type: none"> <li>• Piers faced with same material used on house foundation</li> </ul>	
	Garage	<ul style="list-style-type: none"> <li>• Slab</li> </ul>	



**FALL CREEK PLACE**  
**BUILDER'S GUIDE**

**ARCHITECTURAL STYLES    Craftsman**

House Elements			Material
Roof	Pitch	approximately 4-12 to 8-12	<ul style="list-style-type: none"> <li>• Asphalt, or Fiberglass shingles</li> </ul>
	Shape(s)	<ul style="list-style-type: none"> <li>• Low pitched and broad</li> <li>• Gables or hips with deep overhangs</li> <li>• Visible structural elements</li> </ul>	
	Colors	<ul style="list-style-type: none"> <li>• Medium to dark slate gray</li> </ul>	
Chimney(s)	Style	<ul style="list-style-type: none"> <li>• Brick chimney; wide and sturdy</li> <li>• No wood or stucco sided box chimneys.</li> <li>• Metal stovepipes allowed if not visible from street</li> <li>• Thru-the-wall allowed if the vent is not on the front.</li> <li>• Thru-the-wall bump outs allowed on rear facades only.</li> </ul>	<ul style="list-style-type: none"> <li>• Brick, or Metal (stovepipe)</li> </ul>
Siding	Basic Type(s)	<ul style="list-style-type: none"> <li>• Clapboard with max. 6" reveal</li> <li>• Brick: on entire exterior or front &amp; sides.</li> <li>• Brick on only the first floor; clapboards and/or shingling above</li> <li>• Mix materials, clapboard siding, decorative shake shingles, brick, decorative wood panels on same house</li> </ul>	<ul style="list-style-type: none"> <li>• Wood</li> <li>• Hardboard</li> <li>• Brick veneer</li> <li>• Decorative wood shingles</li> </ul>
	Decorative Trim & Details	<ul style="list-style-type: none"> <li>• Exposed framing/trim at eaves</li> <li>• Large horizontal wood band board at transition between first and second floor</li> </ul>	<ul style="list-style-type: none"> <li>• Wood</li> </ul>
	Paint Colors	<ul style="list-style-type: none"> <li>• Siding colors should be chosen from medium palette</li> <li>• Trim a lighter or darker color than siding</li> </ul>	<ul style="list-style-type: none"> <li>• Standard House Paint</li> </ul>

**ARCHITECTURAL STYLES**   **Craftsman**

**Examples of Porches**



**Examples of Trim and Details**



**ARCHITECTURAL STYLE    Colonial Revival**



Small Historic Example

**Characteristics:**

- **Form:** Symmetrical with projecting elements (small porticos, screened porches at side)
- **Roof:** Pitched from street, gabled at ends (sides)
- **Porch:** Small portico at centered entry, usually supported by classical columns. Screened porch at side is common.
- **Doors & Windows:** Windows usually singular, sometimes paired. Ornamented door surround. Dormers at roof common.
- **Base:** Foundation raised 2-4 steps
- **Materials & Colors:** Reddish brick with white painted trim or painted clapboards.

**FALL CREEK PLACE  
BUILDER'S GUIDE**

**ARCHITECTURAL STYLES Colonial Revival**



House Form	Plan	Basic rectangular form
	Mass	Two stories, minimum. Large
	Balance	Symmetrical Facade.

House Elements			Material
Porches	Type	<ul style="list-style-type: none"> <li>• Small projecting porch</li> <li>• Located at main, central entrance, or as part of enclosed sunroom projection at side of house</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or Synthetic material - if it replicates wood in finish and dimensions</li> </ul>
	Columns & Details	<ul style="list-style-type: none"> <li>• Plain wood columns, or Fluted wood columns with classical capitals for larger homes</li> <li>• May include bracket, or decorative galleries</li> <li>• A decorative broken pediment may be employed</li> </ul>	
	Railings	<ul style="list-style-type: none"> <li>• Turned spindles, or</li> <li>• 2 x 2 plain square posts</li> <li>• Traditional configuration</li> </ul>	<ul style="list-style-type: none"> <li>• Wood</li> </ul>
	Floor	<ul style="list-style-type: none"> <li>• Concrete Slab, with masonry foundation</li> </ul>	<ul style="list-style-type: none"> <li>• Masonry, or</li> <li>• Concrete</li> </ul>
	Steps	<ul style="list-style-type: none"> <li>• Several steps</li> </ul>	<ul style="list-style-type: none"> <li>• Masonry, or</li> <li>• Concrete</li> </ul>

**FALL CREEK PLACE**  
**BUILDER'S GUIDE**

**ARCHITECTURAL STYLE    Colonial Revival**

House Elements			Material
Windows	Window Type(s)	Double Hung, insulated glass	<ul style="list-style-type: none"> <li>• Wood, or Vinyl Clad</li> <li>• Wood</li> </ul>
	Window Shape	Rectangular, narrow, vertical proportion	
	Window Panes	Multiple panes. (No snap-in grids)	
	Special Windows	<ul style="list-style-type: none"> <li>• May vary in size and detail</li> <li>• May be grouped in pairs</li> </ul>	
	Window Trim	<ul style="list-style-type: none"> <li>• 4' Wide Trim</li> <li>• No Brick Molding</li> <li>• Headers may be accented with a trim cap, drip molding, or cornice</li> </ul>	<ul style="list-style-type: none"> <li>• Wood</li> </ul>
Doors	Door Type(s)	<ul style="list-style-type: none"> <li>• Single or double</li> <li>• tall with transom above</li> </ul>	<ul style="list-style-type: none"> <li>• Wood, or Metal (if detailed and like a wood door)</li> </ul>
	Door Style(s)	<ul style="list-style-type: none"> <li>• panels in lower section, or</li> <li>• Half lights</li> </ul>	
	Door Trim	<ul style="list-style-type: none"> <li>• Simplified classical surround</li> </ul>	
Foundation	House	<ul style="list-style-type: none"> <li>• Raised 15" minimum above grade</li> <li>• Skirt board and drip edge 24" minimum above grade</li> <li>• May be adjusted to comply with surrounding houses</li> </ul>	<ul style="list-style-type: none"> <li>• Brick, or Decorative concrete block</li> </ul>
	Porch	<ul style="list-style-type: none"> <li>• Masonry</li> <li>• Piers faced with same material used on house foundation</li> </ul>	
	Garage	<ul style="list-style-type: none"> <li>• Slab</li> </ul>	

**FALL CREEK PLACE**  
**BUILDER'S GUIDE**

**ARCHITECTURAL STYLE Colonial Revival**

House Elements		Material	
Roof	Pitch	<ul style="list-style-type: none"> <li>• approximately 6-12 to 8-12</li> </ul>	<ul style="list-style-type: none"> <li>• Asphalt, or Fiberglass shingles</li> </ul>
	Shape(s)	<ul style="list-style-type: none"> <li>• One dominant gable at narrow elevations.</li> <li>• Dormers often face street elevation</li> <li>• A gambrel roof may be associated with "Dutch Colonial" style.</li> </ul>	
	Colors	<ul style="list-style-type: none"> <li>• medium to dark slate gray</li> </ul>	
Chimney(s)	Style	<ul style="list-style-type: none"> <li>• Brick chimney; sturdy simple top</li> <li>• No wood or stucco sided box chimneys.</li> <li>• Metal stovepipes allowed if not visible from street</li> <li>• Thru-the-wall allowed if the vent is not on the front.</li> <li>• Thru-the-wall bump outs allowed on rear facades only.</li> </ul>	<ul style="list-style-type: none"> <li>• Brick, or Metal (stovepipe)</li> </ul>
Siding	Basic Type(s)	<ul style="list-style-type: none"> <li>• Clapboard with max. 6" reveal</li> <li>• Brick: with limestone details on entire exterior or front &amp; sides.</li> <li>• Brick on only the first floor; clapboards and/or shingling above</li> </ul>	<ul style="list-style-type: none"> <li>• Wood</li> <li>• Hardboard</li> <li>• Brick veneer</li> <li>• Decorative wood shingles</li> <li>• Wood</li> </ul>
	Decorative Trim & Details	<ul style="list-style-type: none"> <li>• Decorative shingles in gable ends,</li> <li>• Band of pickets, shingles, or half-lumber like stickwork on the street elevation,</li> <li>• wood decorative accents such as trim boards with carved and incised shapes,</li> <li>• A decorative broken pediment may be employed</li> </ul>	
	Paint Colors	<ul style="list-style-type: none"> <li>• Siding colors should be ; choose medium to strong colors</li> <li>• Trim and decorative element should always be white.</li> <li>• Additional colors may be appropriate if the house is highly detailed.</li> </ul>	<ul style="list-style-type: none"> <li>• Standard House Paint</li> </ul>

**ARCHITECTURAL STYLES Colonial Revival**

Examples of Forms, Shapes, and entryways



**ARCHITECTURAL STYLE Indianapolis Traditional**



Historic Example

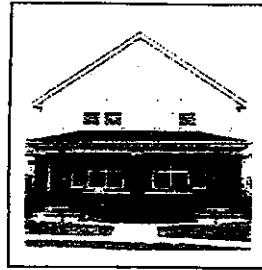
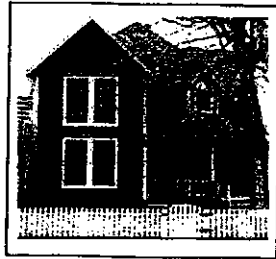
**Characteristics**

Fall Creek Place, as well as most Indianapolis neighborhoods developed between the 1870s and 1930s, contains many houses that are vague representations of the architectural styles depicted in this Builder's Guide. They are generally simple in design and do not have a strong identity with a specific architectural style. They suggest a type of new housing that is compatible in almost any context because of its massing, siting and simplified use of traditional design elements. No attempt is made here to specify the features beyond what has been done for each of the other styles. Instead, photographic examples of the style are presented on the following page.

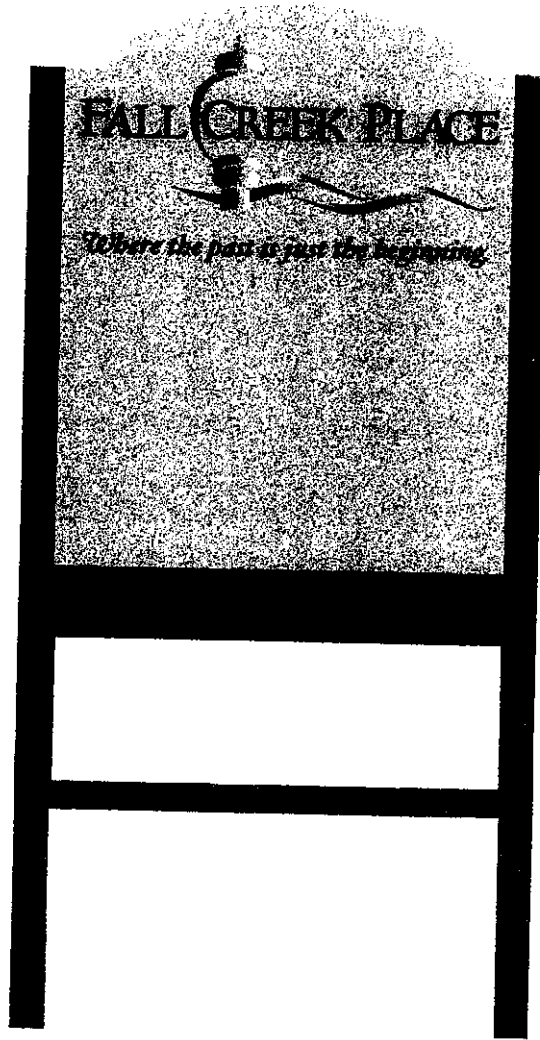


ARCHITECTURAL STYLE **Indianapolis Traditional**

Examples of Indianapolis Traditional Houses



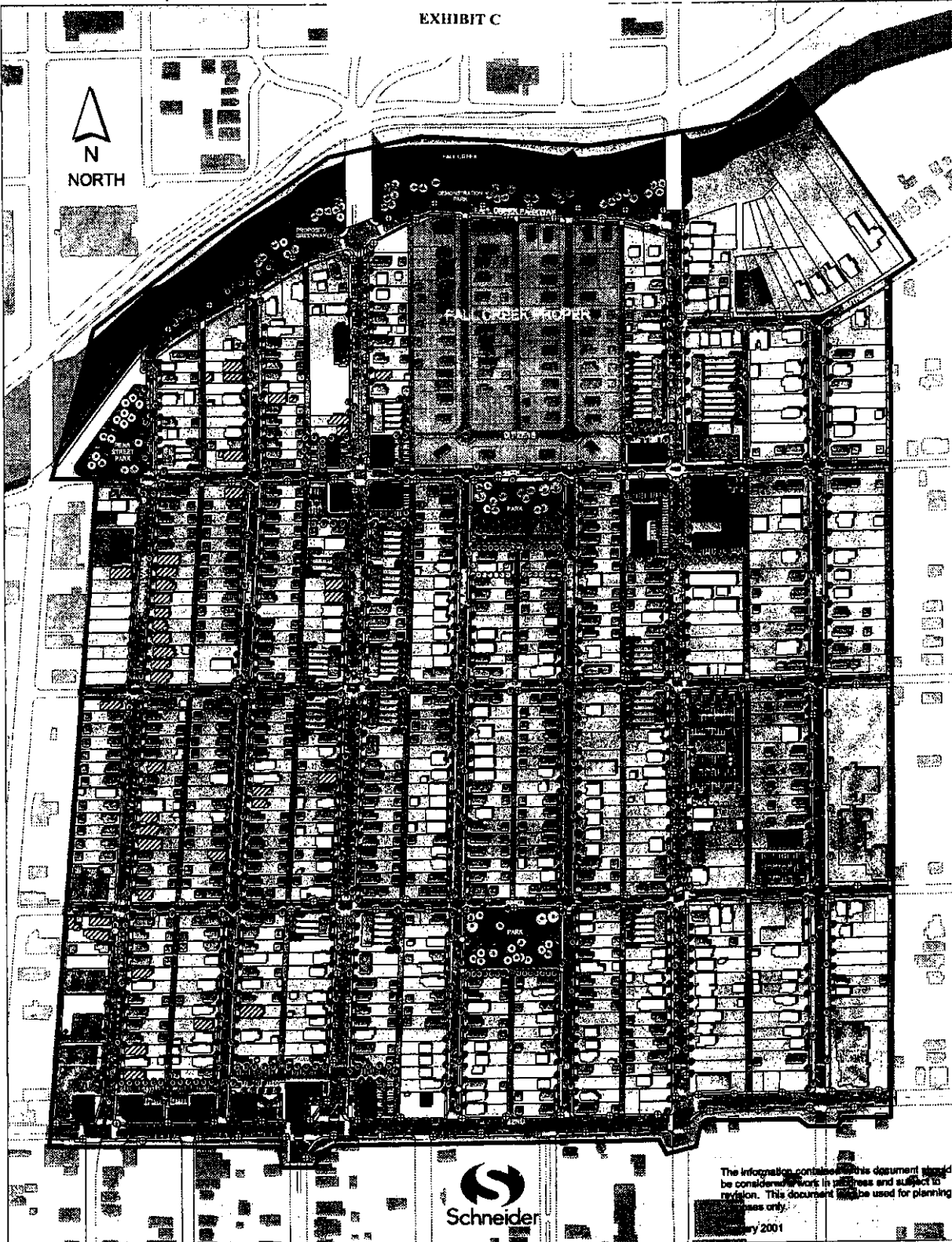
**EXHIBIT C**  
Required Lot Sign



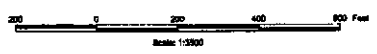
A City of Indianapolis, Mansur, and King Park Area Development Corporation Partnership

# Fall Creek Place

EXHIBIT C



The information contained in this document should be considered work in progress and subject to revision. This document should not be used for planning purposes only.  
January 2001

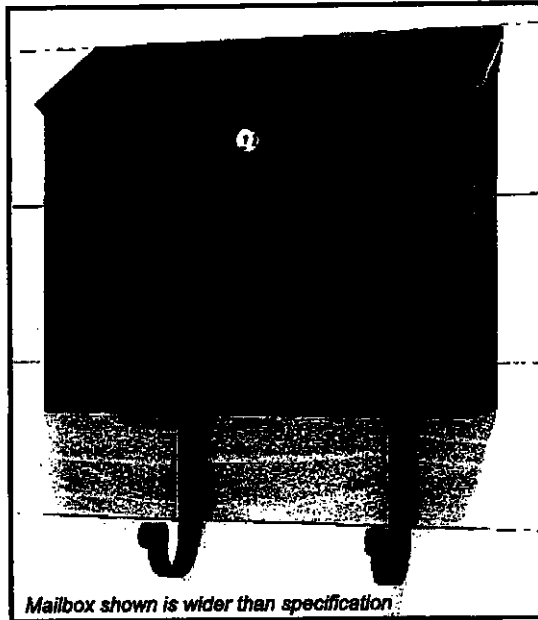


## Community Development Plan

D-3



Building Legend	
	Existing Business
	Multi-Family
	Existing Residential
	Existing Residential Rehabilitation
	Proposed Commercial Multi-family
	Public
	Proposed Residential



**Distributor: Mailbox Specialties**

**Model #: HB 16**

**Description: Black/Economy**

**Construction: Heavy gauge steel and non-locking.**

**Finish: Glossy black, electro-powder coated.**

**Mailbox Dimension:**

**Width = 8 1/2"**

**Height = 12"**

**Depth = 3 1/2"**

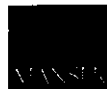
**Fax : 1-916-961-9707**

**Voice: 1-800-265-0041**

**Note: Mailbox to be specified by owner  
or owner's representative and approved by  
architectural review board.**

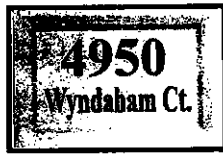
**EXHIBIT E**

**Required Mail Box**



**A City of Indianapolis, Mansur, and King Park Area Development Corporation Partnership**

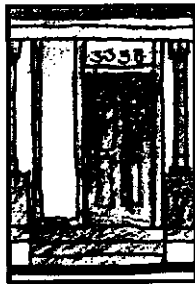
Date Stone Example:



**Description: Cast Stone**  
Each stone to contain the year  
of construction:

2001

Address Marker Options:



or



**Description:**  
Transom window with etched  
Street Address:

2516

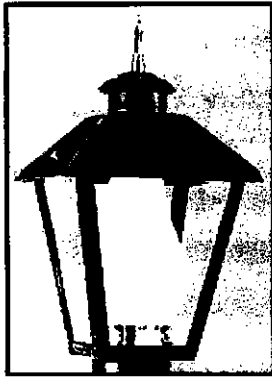
**Description:**  
Standard address plaque  
to be mounted below  
the porch light.

Note: Date stone is NOT a required element  
for homes in Fall Creek Place.

**EXHIBIT F**  
Required Address Marker



A City of Indianapolis, Mansur, and King Park Area Development Corporation Partnership



**Description:** Metal post lantern with clear glass panels. Frosted glass chimney.  
**Finish:** Black  
**Glass:** Clear & Frosted  
**Type:** Metal  
**Notes:** Fits 3 inch post (order separately).  
**Width/Diameter:** 8 inch sq.  
**Height:** 14-1/4 inch  
**Lamp Quantity:** One  
**Lamp Type:** Medium Base  
**Lamp Wattage:** 100w max



**SKU P5735-31**  
**Catalog Page:** 306  
**Category:** Outdoor

**Description:** Wall lantern with textured glass.  
**Finish:** Black  
**Glass:** Textured  
**Type:** Metal  
**Notes:** H/CTR 5-1/2 inch



**SKU:** P5390-31PC  
**Category:** Outdoor  
**Finish:** Black

**EXHIBIT D**  
Required Lighting

**Note:** Lighting to be specified by owner or owner's representative and approved by architectural review board.



A City of Indianapolis, Mansur, and King Park Area Development Corporation Partnership



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## BUILDER'S GUIDE

for Rehabilitation  
Exterior Rehabilitation Standards  
for Projects with City Participation

## FALL CREEK PLACE HOMEOWNERSHIP ZONE

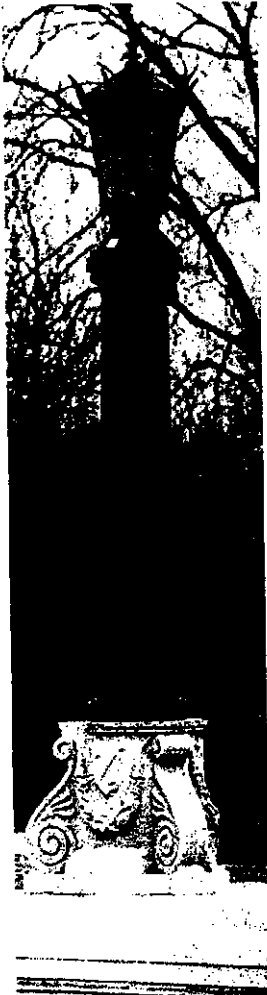
Indianapolis, Indiana

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# FALL CREEK PLACE

## KING PARK HOMEOWNERSHIP ZONE BUILDER'S GUIDE

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### FOREWORD

The purpose of these guidelines is to ensure that the rehabilitation of existing housing in the Fall Creek Place Homeownership Zone will be consistent in quality, appearance, and function to the new construction being initiated through the Home Ownership Zone Program. The objective is to mix new houses with old houses to create a renewed sense of community based on historic development patterns of the Fall Creek Place neighborhoods.



## SPECIFICATIONS

### ROOFING

<b>REROOFING</b>	<ul style="list-style-type: none"> <li>• Asphalt or Fiberglas shingles</li> <li>• No standing seam metal, fully adhered or rolled roofing (unless slope is less than 4/12).</li> <li>• Avoid very white, very light colored and pure black shingles.</li> <li>• The following Owings Corning colors are used as examples of acceptable colors:               <table style="margin-left: 20px; border: none;"> <tr> <td>Estate Gray</td> <td>Graystone</td> </tr> <tr> <td>Chapel Gray</td> <td>Weathered Wood</td> </tr> <tr> <td>Bark Brown</td> <td>Barnwood</td> </tr> <tr> <td>Forest Green (esp. for Craftsman style houses)</td> <td></td> </tr> </table> </li> </ul> <p><i>[Any brand is acceptable provided the color is similar.]</i></p>	Estate Gray	Graystone	Chapel Gray	Weathered Wood	Bark Brown	Barnwood	Forest Green (esp. for Craftsman style houses)	
Estate Gray	Graystone								
Chapel Gray	Weathered Wood								
Bark Brown	Barnwood								
Forest Green (esp. for Craftsman style houses)									

### SOFFITS

<b>REPAIR OF SOFFITS</b>	<ul style="list-style-type: none"> <li>• Repair or replace with like material (car-siding with car-siding, tongue-in-groove with tongue-in-groove, etc.)</li> <li>• If new material is used, it should be similar in appearance to the original.</li> </ul>
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### GUTTERS & DOWNSPOUTS

<b>REPLACEMENT OF EXISTING GUTTERS &amp; DOWNSPOUTS</b>	<ul style="list-style-type: none"> <li>• Do not cut or alter rafter ends to accommodate new gutters.</li> <li>• Ogee or standard box gutters are usually acceptable.</li> <li>• Built-in gutters should be repaired rather than replaced.</li> <li>• If not economical to repair built-in gutters, the soffit/eave configuration can be modified as long as the finished outline is similar to the original.</li> <li>• Gutters &amp; downspouts should match the body and/or trim color when painted.</li> </ul>
<i>Original gutter &amp; downspout pattern should be maintained if possible. If modifications are required to achieve positive drainage, efforts should be made to not change the appearance of the eaves and soffits.</i>	
<b>INFORMATION</b>	Call Indianapolis Historic Preservation Commission 327-4406 for detailed information on rebuilding gutters.

### CHIMNEYS

<b>MASONRY REPAIR</b>	See Bricks & Masonry
<b>REMOVAL</b>	<ul style="list-style-type: none"> <li>• Chimneys that are decorative, add character, or are expressed on the front or side wall of the house should not be removed above the roof line.</li> <li>• Simple chimneys on the rear half of the house may be removed if not needed.</li> </ul>
<b>NEW CHIMNEY</b>	<ul style="list-style-type: none"> <li>• Must be real brick if on the front or side façade.</li> <li>• May be through-the-wall if on the side or back.</li> <li>• No through-the-wall bump outs except on the back façade.</li> <li>• No wood, hardboard, vinyl or aluminum sided chimneys.</li> <li>• Metal stovepipe chimneys allowed if not highly visible from the street.</li> </ul>

## WOOD SIDING

REPAIR & PARTIAL REPLACEMENT	<ul style="list-style-type: none"> <li>• Partial replacement should be in wood clapboards to match the original in size, profile and exposure.</li> <li>• Replacement wood should be smooth finished and have minimal defects and knots.</li> <li>• Hardboard siding cannot be used for partial replacement.</li> </ul>
REPLACEMENT	<ul style="list-style-type: none"> <li>• Total replacement should be in wood to match original dimensions (within 1/4<sup>th</sup> inch).</li> <li>• Hardboard might be considered for total replacement if individual, smooth finished boards are used with an overlap similar to the original wood.</li> <li>• Panelized wood siding should not be used.</li> <li>• Vinyl and aluminum siding may not be used to replace or cover original siding.</li> </ul>

## PORCHES

MISSING PORCH	<ul style="list-style-type: none"> <li>• Missing front porches should be rebuilt.</li> </ul>
NEW PORCH	<ul style="list-style-type: none"> <li>• Where little or no evidence of the original porch remains, a new porch should reflect the typical porch form of the house style.</li> <li>• New columns should be characteristic to the house style.</li> <li>• Porch railings should be detailed in a traditional manner.</li> <li>• Porch flooring should be solid wood or concrete, depending on the style of the house.</li> <li>• No deck-like floors, railings, columns on the front or sides.</li> </ul>
REMOVAL OF PORCH	<ul style="list-style-type: none"> <li>• Total removal should only occur if structurally unsound or if the porch is a later design incompatible with the house style.</li> </ul>
REPAIR OF PORCH	<ul style="list-style-type: none"> <li>• Repair and retain original porches.</li> <li>• Reuse as much of the original decorative details as possible.</li> <li>• Non-original and uncharacteristic porch columns should be replaced with columns characteristic of the house style.</li> <li>• If replaced, flooring should match the type originally on the house.</li> </ul>

## DECORATIVE DETAILS & TRIM

MISSING DETAILS & TRIM	<ul style="list-style-type: none"> <li>• Replace as much missing detailing as possible</li> <li>• If replacing missing elements (like brackets), they should be characteristic of the style of the house.</li> </ul>
ADDING DETAILS & TRIM	<ul style="list-style-type: none"> <li>• Avoid over-decorating the house with extraneous details that would never have existed on the style of house.</li> </ul>
REPAIRING DETAILS & TRIM	<ul style="list-style-type: none"> <li>• Repairs to existing details should be done with the same materials and should match the same dimensions.</li> </ul>
REMOVING DETAILS & TRIM	<ul style="list-style-type: none"> <li>• Remove those decorative elements that are recent additions and detract from the style of the house.</li> <li>• Do not remove original detailing from the house.</li> </ul>

## DOORS

<p><b>EXISTING DOORS</b> <i>Doors should be wood and should be in character with the style of the house.</i></p>	<ul style="list-style-type: none"> <li>• <u>Original or in character:</u> Repair if at all possible. If not possible, replace with similar door style.</li> <li>• <u>Non-original and out of character:</u> Replace with a new door in character with the style of the house, whether in good condition or not.</li> </ul>
<p><b>REPLACEMENT DOORS</b></p>	<ul style="list-style-type: none"> <li>• <u>Options:</u> Wood or metal.</li> <li>• Metal doors should closely resemble wood doors in dimensions and profile.</li> <li>• Paintable metal doors are preferable.</li> <li>• New doors must fit the original door opening (a variance of 1 inch horizontally and vertically is allowed).</li> <li>• If the opening is previously altered, it should be returned to its original dimensions.</li> <li>• New doors should not be overly ornate; should complement the style of house.</li> </ul>
<p><b>STORM/SCREEN DOORS</b></p>	<ul style="list-style-type: none"> <li>• Metal storm/screen doors allowed.</li> <li>• Chose a color similar to primary door.</li> </ul>

## WINDOWS

<p><b>REPAIR</b></p>	<ul style="list-style-type: none"> <li>• Windows needing minor repair should be retained and storm windows added.</li> </ul>
<p><b>REPLACEMENT</b></p>	<ul style="list-style-type: none"> <li>• Wood or vinyl clad wood (in a color) double hung windows are acceptable replacements (unless the original window type was different, such as a fixed or casement window.)</li> <li>• Replacement windows should not be metal or extruded vinyl.</li> <li>• A replacement window should be no more than one inch different in dimension vertically or horizontally from the dimensions of the original window.</li> <li>• <u>No snap-in muntins.</u></li> </ul>
<p><b>STORM WINDOWS</b></p>	<ul style="list-style-type: none"> <li>• Wood or aluminum storm windows allowed.</li> <li>• They should fit the opening properly</li> <li>• They should be painted a color to match the window trim and/or the window sash.</li> </ul>
<p><b>ADD, REMOVE &amp; ALTER WINDOWS</b></p>	<ul style="list-style-type: none"> <li>• Previously closed up window openings on the front façade should be reopened to original size.</li> <li>• Original window openings on the front and side facades should not be removed.</li> <li>• Previously altered window openings on the front and side façades should be returned to original size.</li> <li>• New window openings and styles should not be added to front façade.</li> </ul>

## BRICK & MASONRY

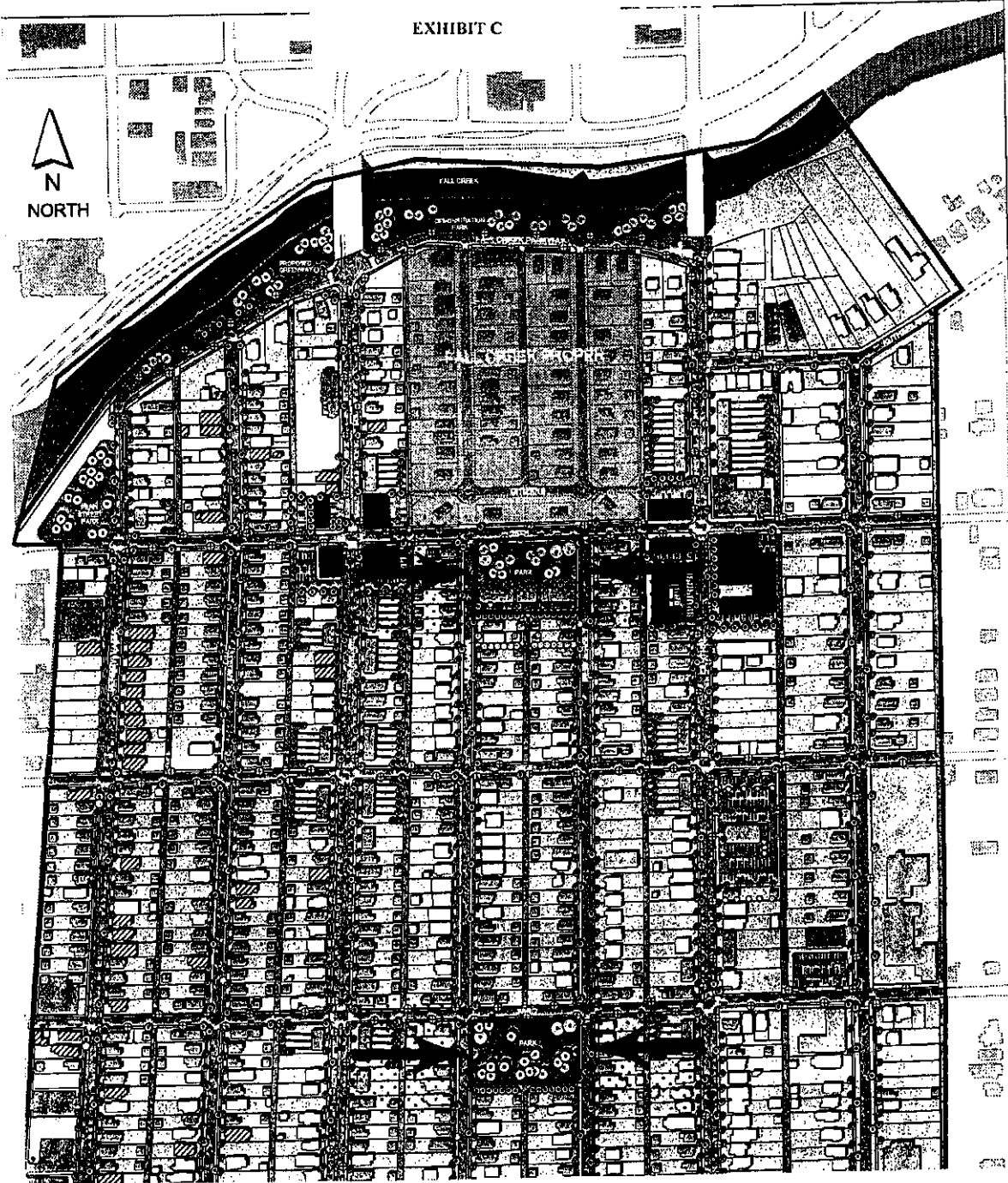
<p><b>SPALLING, RISING DAMP, CRUMBLING, EFFLORESCENCE</b></p> <p><i>Damage to masonry is generally caused by movement or water infiltration.</i></p>	<ul style="list-style-type: none"> <li>• Find the causes and sources of the damage prior to the commencement of repairs.</li> <li>• Repair the causes of damage before undertaking masonry repairs.</li> </ul>
<p><b>REPLACEMENT</b></p>	<ul style="list-style-type: none"> <li>• If possible, turn bricks with damaged surfaces around so the good surface is exposed.</li> <li>• Use salvaged or new material which closely matches the original in size, color, and texture.</li> </ul>
<p><b>REPOINTING</b></p>	<ul style="list-style-type: none"> <li>• Clean loose mortar from the joints. Use care to not damage the brick edges.</li> <li>• Repoint mortar joints using a mortar mix closely matching the composition of the original.</li> <li>• Use a soft, high-lime mortar mix on soft historic bricks. Recipe:  <u>Cement/Lime Mixture</u>                      1 part Portland Cement; 3 parts hydrated lime  <u>Soft Mortar</u>                      3 to 5 parts sand; 1 part Cement/Lime Mixture</li> <li>• Repoint using same joint thickness, profile, tooling method and color as the original</li> </ul>
<p><b>CLEANING</b></p> <p><i>Use the gentlest method possible. Stop at the first evidence of damage to masonry. Test patches should be used to assess the effect of any method.</i></p>	<ul style="list-style-type: none"> <li>• Sandblasting: NEVER SANDBLAST</li> <li>• Pressure Wash: Use pressure <u>less than 600 psi</u>. Do test patch first to make sure the surface is not being damaged.</li> <li>• Chemicals: Use the mildest chemical possible. Do a test patch first to make sure the surface is not being damaged or discolored.</li> <li>• Grinding: Do not use mechanical abrasive techniques.</li> </ul>
<p><b>WATERPROOFING</b></p> <p><i>Waterproofing coatings can cause greater long-term deterioration of masonry than weather and pollution.</i></p>	<ul style="list-style-type: none"> <li>• Do not apply waterproof and water repellent coatings.</li> </ul>
<p><b>PARGING</b></p>	<ul style="list-style-type: none"> <li>• Apply a parge coat over brick <b>ONLY</b> if it is done to repair previously parged brick.</li> <li>• Do not apply tar, cement, plaster, stucco or any coating over brick that has never been coated.</li> </ul>
<p><b>PAINTING</b></p> <p><i>It is not recommended to paint unpainted masonry since it prevents moisture from escaping</i></p>	<ul style="list-style-type: none"> <li>• Do not paint unpainted masonry</li> <li>• Remove all loose and flaking paint before repainting. Use brushes and low pressure (less than 600 psi) water washing.</li> </ul>
<p><b>FOUNDATIONS</b></p>	<p>When partial or total foundation replacement is required, the new foundation walls should be faced in the original material or new materials to match the original in appearance</p>
<p><b>INFORMATION</b></p>	<p>Call Indianapolis Historic Preservation Commission 327-4406 for detailed information on masonry restoration</p>

## PAINTING AND PAINTING COLORS

PAINT SCHEME	<ul style="list-style-type: none"><li>• Generally avoid white for the body.</li><li>• Use a color scheme compatible with the house style.</li><li>• For trim, consider white, off white or a different shade of the body color.</li><li>• Too many colors or conflicting colors can make the color scheme become too busy looking.</li></ul>
WOOD	<ul style="list-style-type: none"><li>• Thoroughly scrape and prime wood before repainting.</li><li>• Allow adequate time for drying out if powerwashing is used.</li></ul>
BRICK	<ul style="list-style-type: none"><li>• Only paint brick if it was previously painted or it is absolutely necessary to cover up serious flaws.</li></ul>
INFORMATION	<ol style="list-style-type: none"><li>1. The Indianapolis Historic Preservation Commission 327-4406 can be consulted for free advice on appropriate paint colors for specific house styles.</li><li>2. Major paint companies such as Porter Paints, Sherwin Williams, etc. offer helpful brochures with historic paint schemes</li></ol>

# Fall Creek Place

EXHIBIT C



Common Areas outlined in red with red arrows on original