



WANAMAKER VILLAGE 7TH SEC.

1. The undersigned, hereby convey unto this plat to read and correct according to a subdivision of Part of the South West Quarter (3) of Section 31, Township 15 North, Range 5 East, in Marion County, State of Indiana, and more particularly describe as follows:

Beginning at a point on the East line of said 1/4 Sec. about 650 feet South of the North East corner of the South West 1/4 of said Sec. 31-15-5; thence run East line a distance of 400 feet; thence West making an interior angle of 91 degrees and 57 minutes, a distance of 1087.4 feet; thence North making an interior angle of 89 degrees and 09 minutes, a distance of 175 feet to a point that is the South West corner of WANAMAKER VILLAGE 5th Sec.; and the North line of Linwood Drive; thence East along the North line of Linwood Drive a distance of 525.62 feet; thence North, making an interior angle of 91 degrees and 57 minutes a distance of 225 feet; thence East a distance of 305 feet to the point of beginning, contained in all 7.28 acres more or less, more or less, to all title, unknown and/or claims of any.

This subdivision consists of 12 lots numbered from 66 to 77, both inclusive, with streets as shown herein.

The size of lots and widths of streets are shown on this plat in rounded decimal feet and decimal parts thereof.

Dated and recorded this 27th day of June 1954

Walter H. ...
 Registrar
 State of Indiana

2. The undersigned, Frank ... and ... hereby convey unto this plat to read and correct according to a subdivision of Part of the South West Quarter (3) of Section 31, Township 15 North, Range 5 East, in Marion County, State of Indiana, and more particularly describe as follows:

This subdivision consists of 12 lots numbered from 66 to 77, both inclusive, with streets as shown herein.

The size of lots and widths of streets are shown on this plat in rounded decimal feet and decimal parts thereof. Dated and recorded this 27th day of June 1954.

John P. ...
Residence Surveyor No. 3007
State of Iowa

BE, and undersigned, Frank Green and Harry ... measure and site, extent of the above described area ...

and streets, or any improvements hereon, and means provided to public use.

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No part of this report shall be made public or any part of it shall be made public until the date of the report is made public.

Approved under the provisions of the Act of July 26, 1954, for the purpose of the investigation of the activities of the Communist Party, Inc. and its branches, affiliates, subsidiaries, agents, and representatives.

The above report was prepared by the Special Agent in Charge, New York Office, and is being furnished to you for your information and use.

The above report was prepared by the Special Agent in Charge, New York Office, and is being furnished to you for your information and use.

24 day of July 1954

APPROVED THIS 16th

JULY 1954

Frank G. ...

Frank G. ...

NEW YORK OFFICE

STATE OF ...

Notary Public in and for the State of New York, do hereby certify that the foregoing is a true and correct copy of the original report as filed in my office on the date and at the place therein stated.

24 day of July 1954

Frank G. ...

Frank G. ...

APPROVED THIS 26th DAY OF JULY 1954

Frank G. ...

WANAMAKER VILLAGE 7TH SEC.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS PLAN IS TRUE AND CORRECT REPRESENTING A SUBDIVISION OF PART OF THE SOUTH WEST QUARTER (1/4) OF SECTION 31, TOWNSHIP 15 NORTH, RANGE 5 EAST, IN MARION COUNTY, STATE OF INDIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID 1/4 SEC. DISTANT 650 FEET SOUTH OF THE NORTH EAST CORNER OF THE SOUTH WEST 1/4 OF SAID SEC 31-15-5; RUNNING THENCE SOUTH ALONG SAID EAST LINE A DISTANCE OF 400 FEET; THENCE WEST MAKING AN INTERIOR ANGLE OF 91 DEGREES AND 57 MINUTES, A DISTANCE OF 1087.4 FEET; THENCE NORTH MAKING AN INTERIOR ANGLE OF 87 DEGREES AND 00 MINUTES, A DISTANCE OF 175 FEET TO A POINT THAT IS THE SOUTH WEST CORNER OF WANAMAKER VILLAGE 5TH SEC.; AND THE CENTER LINE OF LINCOLN DRIVE; THENCE EAST ALONG THE CENTER LINE OF LINCOLN DRIVE A DISTANCE OF 525.62 FEET; THENCE NORTH, MAKING AN INTERIOR ANGLE OF 91 DEGREES AND 57 MINUTES A DISTANCE OF 225 FEET; THENCE EAST A DISTANCE OF 305 FEET TO THE POINT OF BEGINNING, CONTAINING IN ALL 7.28 ACRES MORE OR LESS, SUBJECT, HOWEVER, TO ALL LEGAL HIGHWAYS AND/OR RIGHTS OF WAY.

THIS SUBDIVISION CONSISTS OF 12 LOTS NUMBERED FROM 66 TO 77, BOTH INCLUSIVE, WITH STREETS AS SHOWN HEREON.
THE SIZE OF LOTS AND WIDTHS OF STREETS ARE SHOWN ON THIS PLAN IN FIGURES DENOTING FEET AND DECIMAL PARTS THEREOF.

WITNESSED BY SIGNATURE THIS 25th DAY OF JUNE 1954

Robert Schuchel
REGISTERED SURVEYOR NO. 3707
STATE OF INDIANA



WE, THE UNDERSIGNED, FRANK GEFFS AND MAZEL GEFFS, HUSBAND AND WIFE, OWNERS OF THE ABOVE DESCRIBED REAL ESTATE, HEREBY CERTIFY THAT THEY DO HEREBY LAY OFF PLAN AND SUBDIVIDE THE SAME IN ACCORDANCE WITH THIS PLAN AND CERTIFICATE. THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS WANAMAKER VILLAGE, 7th SECTION.

THE STREETS, IF NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO PUBLIC USE.

THERE ARE STRIPS OF GROUND 5 FEET IN WIDTH AS SHOWN ON THIS PLAN WHICH ARE HEREBY RESERVED FOR USE OF PUBLIC UTILITIES, FOR INSTALLATION AND MAINTENANCE OF POLES, WIRES, DRAIN, DUCTS, DRAINAGE, AND SEWER, SUBJECT AT ALL TIMES TO THE AUTHORITY OF THE PROPER CIVIL OFFICERS AND TO THE FACILITIES HEREBY RESERVED. NO PERMANENT OR OTHER STRUCTURE SHALL BE ERRECTED OR MAINTAINED ON SAID STRIPS, BUT SUCH BUILDINGS SHALL TAKE THEIR TITLE SUBJECT TO THE RIGHTS OF SUCH PUBLIC UTILITIES AND TO THE RIGHTS OF OWNERS OF OTHER LOTS IN THIS SUBDIVISION, FOR CROSSING AND CROSSING IN, ALONG, ACROSS, AND THROUGH THE SEVERAL STRIPS SO RESERVED.

ALL LOTS IN THIS SUBDIVISION SHALL BE USED AND DESIGNATED AS RESIDENTIAL LOTS. NO STRUCTURE SHALL BE ERRECTED, ALTERED, PLACED OR PERMITTED TO REMAIN IN ANY LOT HEREIN OTHER THAN ONE SINGLE FAMILY DWELLING, NOT TO EXCEED 2 1/2 STORIES IN HEIGHT, AND A PRIVATE GARAGE FOR NOT MORE THAN THREE CARS AND RESIDENTIAL ACCESSORY BUILDINGS.

NO HOTEL, BUILDING, BOARDING HOUSE, ROOMING HOUSE, DOUBLE HOUSE, DUPLEX, BERTHAILE BUILDING, FACTORY BUILDING OR BUILDING OF ANY KIND FOR COMMERCIAL USE SHALL BE ERRECTED OR MAINTAINED ON ANY LOT IN THIS SUBDIVISION, EXCEPT THE CRYPTOM, LAMEN LOTS, WHICH MAY BE CONSTRUCTED TWO WAY THROUGH HIGHWAYS.

NO BUILDING STRUCTURE OR APPURTENANCE THEREOF EXCEPT FENCED SHALL BE LOCATED WITHIN 5 FEET OF ANY SIDE LOT LINE. WHERE BUILDINGS ARE BUILT UPON MORE THAN ONE SINGLE LOT, THIS RESTRICTION SHALL APPLY TO THE SIDE LOT LINES OF THE EXTREME BOUNDARIES OF THE MULTIPLE LOTS. NO RESIDENCE BUILDINGS SHALL BE ERRECTED OR MAINTAINED NEARER THAN 15 FEET TO ANY LOT OR PROPERTY LINE UPON WHICH IT IS SITUATED, INCLUDING PORCHES OR ATTACHED GARAGES.

NO TRAILERS, SHACKS, OR ANY HOUSES OF A PERMANENT OR TEMPORARY NATURE SHALL BE ERRECTED OR SITUATED ON ANY LOT EXCEPT DURING THE PERIOD OF CONSTRUCTION OF A PROPER STRUCTURE AND FOR USE BY THE BUILDER FOR HIS MATERIAL AND TOOLS.

NO FARM ANIMALS OR FOCKS SHALL BE PERMITTED ON ANY LOT IN THIS SUBDIVISION AND NO PETS OR DOMESTIC ANIMALS FOR COMMERCIAL PURPOSES SHALL BE KEPT THEREON.

BUILDING LINES AS SHOWN ON THIS PLAN IN FEET BACK FROM THE STREET PROPERTY LINES ARE HEREBY ESTABLISHED, BETWEEN WHICH LINES AND THE STREET PROPERTY LINES, THERE SHALL BE ERRECTED OR MAINTAINED NO STRUCTURE OF ANY KIND OR PART THEREOF OTHER THAN A ONE-STORY PORCH.

PRIVATE WATER SUPPLY AND/OR SEWAGE SYSTEM MAY BE LOCATED, CONSTRUCTED AND MAINTAINED TO SERVE ANY BUILDING LOT IN THIS ADDITION, PROVIDED SAID SYSTEMS ARE APPROVED IN WRITING BY THE PROPER PUBLIC AND/OR CIVIL AUTHORITIES.

THE GROUND FLOOR AREA OF THE MAIN STRUCTURE EXCLUSIVE OF ONE-STORY OPEN PORCHES, AND GARAGES SHALL BE NOT LESS THAN 1200 SQUARE FEET IN THE CASE OF A ONE-STORY STRUCTURE, AND LESS THAN 900 SQUARE FEET IN THE CASE OF A 1 1/2, 2, OR 2 1/2 STORY STRUCTURE.

NO NOISY TRADE OR ACTIVITY SHALL BE CARRIED ON UPON ANY LOT IN THIS ADDITION, NOR SHALL ANYTHING BE DONE HEREIN WHICH MAY BECOME AN OBSTACLE OR A BURDEN TO THE NEIGHBORHOOD AT LARGE.

THE RIGHT TO ENFORCE THE FOREGOING PROVISIONS, COVENANTS AND RESTRICTIONS IN CONNECTION TOGETHER WITH THE RIGHT TO CAUSE THE REMOVAL BY THE PROCESS OF LAW OF ANY STRUCTURE, PART OF A STRUCTURE, OR OTHER OBJECTS ERRECTED OR MAINTAINED IN VIOLATION HEREOF, IS HEREBY DEDICATED TO THE PUBLIC. ANY PERSON WHO VIOLATES ANY OF THE FOREGOING PROVISIONS, COVENANTS OR RESTRICTIONS SHALL BE LIABLE TO THE PUBLIC FOR THE COST OF ENFORCEMENT WITHOUT BEING REQUIRED TO SHOW ANY DAMAGE OF ANY KIND TO ANY SUCH OWNER OR OWNER BY OR THROUGH ANY SUCH VIOLATION OR ATTEMPTED VIOLATION. INVALIDATION OF ANY OF THESE COVENANTS BY JUDGMENT OR COURT ORDER SHALL IN NO WISE INVALIDATE ANY OTHER SUCH COVENANT WHICH SHALL REMAIN IN FULL FORCE AND EFFECT. ALL THE ABOVE RESTRICTIONS AND/OR COVENANTS SHALL BE CONSIDERED REAL ESTATE WHICH SHALL BIND EACH LOT IN WHOSOEVER'S HANDS IT MAY COME AND SHALL RUN WITH THE LAND.

THE FOREGOING RESTRICTIONS, COVENANTS, AND PROVISIONS SHALL REMAIN IN FULL FORCE AND EFFECT UNTIL JANUARY 1, 1977.

WITNESSED OUR SIGNATURES THIS 24 DAY OF July 1954
Frank Geffs
FRANK GEFFS
Mazel Geffs
MAZEL GEFFS

APPROVED THIS 16th DAY OF July 1954
COUNTY CLERK MARION COUNTY OF INDIANA
Frank Umec...
Paul H. ...



STATE OF INDIANA - S.S.
COUNTY OF MARION -

PERSONALLY APPEARED BEFORE ME, A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, FRANK GEFFS AND MAZEL GEFFS, WHO SEPARATELY ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS THEIR VOLUNTARY ACT AND DEED FOR THE USE AND PURPOSES THEREIN EXPRESSED, AND AFFIXED THEIR SIGNATURES THERETO.